

Work Write Up

Consultant's Report

Prepared by

Wayne John Lundberg

1363 Shermer Rd Suite 320,
Northbrook, 60062, Illinois
(312) 724-5100, jlundberg@realsvs.com

Elmwood1057Prakash



Inspected Address: 1057 Elmwood, Deerfield, Illinois, 60015

Inspection Date: 02/08/2025

Client		Lender	
Client Names:	Suraj Prakash Meghna Sahay	Lender:	Smooth Mortgage Company, LLC
Client Phone:	(847) 530-3506 (312) 613-6877	Lender Phone:	(708) 669-7458
Client Email:	suraj1912@gmail.com	Loan Officer:	Sean Sullivan
		Loan Officer	(312) 405-6200
		Phone:	

Date:04-30-2025

REHAB PROJECT OVERVIEW

PROPERTY ADDRESS: 1057 Elmwood,
Deerfield, Illinois
60015

CONSULTANT: Wayne John Lundberg



Borrower Name	Suraj Prakash Meghna Sahay	Address	1057 Elmwood
Cell Phone #	(312) 613-6877	City	Deerfield
Home Phone #	847 530-3506	State	Illinois
Borrower Email	suraj1912@gmail.com	Zip	60015

Rehab Type	FNMA Homestyle	Months Uninhabitable	6
FHA Case #			
Loan #			
Finance Type:	Refinance		

Lender Company	Smooth Mortgage Company, LLC	Loan Officer Name	Sean Sullivan
Lender Cell #	312 (312) 405-6200	Lender Email	sean@smoothmortgageloans.com

Contractor Company #1	11 North Inc	Contractor #1 Email	andrew@11northinc.com
Contractor Company #2		Contractor #2 Email	
Contractor Company #3		Contractor #3 Email	
Contractor Company #4		Contractor #4 Email	

Rehabilitation Loan Permit Certification

(To be completed by local municipality or HUD Consultant)

Property: 1057 Elmwood,
Deerfield, Illinois 60015

Applicant(s): Suraj Prakash & Meghna Sahay

Loan #: _____

Rehab Type: ☐ Full 203K ☐ Streamline 203k ☒ Fnm HomeStyle ☐ SONYMA ☐ Other _____
Municipality Type: ☐ County ☐ Town ☐ City ☒ Village ☐ Other _____

Name of Municipality: Deerfield Phone No: (847) 530-3506

☒ **Refinance** Borrower(s) must provide written evidence, prior to closing, from local municipality (county/city/town/village, etc.) that they have applied for (and when possible, been granted) permits for all work items listed in their 203K plan which require permits

☐ **Purchase** Borrower does not own subject property yet, but must validate, prior to closing, with local municipality (county / city/town/village, etc.) which permits (if any) will be required for all work items listed in their 203K plan.

ATTN: BUILDING DEPARTMENT/INSPECTOR:

The property listed above is subject to renovations. Lending guidelines require that all necessary permits and inspections be obtained from local municipality authorities. *Please review the attached plans & specifications to determine if any permits are required for the outlined work. Please indicate below which permits/inspections will be required, or if already issued.*

CONTRACTOR NAME	ANTICIPATED WORK (General Description)	APPROX. COST
Andrew Fishman	All general and subcontracting work	353,000.00

-Please use the back of this form to include additional information-

PERMIT TYPE:	PERMIT REQUIRED?	INSPECTION REQUIRED?	COST OF EACH? (if any)
GENERAL BLDG PERMIT	☒ Y / ☐ N	☒ Y / ☐ N	\$ 5000.00
HVAC	☒ Y / ☐ N	☒ Y / ☐ N	\$ 600.00
ROOFING	☒ Y / ☐ N	☒ Y / ☐ N	\$ 500.00
ELECTRICAL	☒ Y / ☐ N	☒ Y / ☐ N	\$ 500.00
PLUMBING	☒ Y / ☐ N	☒ Y / ☐ N	\$ 350.00
OTHER	☒ Y / ☒ N	☒ Y / ☒ N	\$ 0.00
NO PERMITS REQUIRED	☐ Y / ☒ N	☐ Y / ☒ N	\$ 0.00

Signature: Wayne John Lundberg

Date: 04-30-2025

☒ 203K Consultant* ID # A1255 (*By Signing, HUD Consultant certifies that s/he has verified the above information w/the municipality)
☐ City/Town/County Bldg Inspector/Code Enforcement Officer

Borrower Acknowledgement/Notice to Mortgage Applicant: You must have this form completed either by your local municipality building code enforcement department or your HUD 203k consultant, if applicable. Your mortgage lender may not permit the scheduling of your closing without verification of required permits, for refinance or purchase transactions.

➔ Borrower(s) SELECT ONE: ☒ DO / ☐ DO NOT request the sum of all permits to be financed into my 203k Rehabilitation Escrow. ⬅

Meghna Sahay

Borrower Signature

Suraj Prakash
Suraj Prakash (May 7, 2025 14:52 CDT)

Borrower Signature

05/07/2025

Date

05/07/2025

Date

Loan#: _____
Borrower: _____



Homestyle Final Work Write Up Elmwood1057Prakash

Inspection Date: 02/08/2025**Consultant:** Wayne John Lundberg**Contractor:** Andrew Fishman**Applicant:**

Suraj Prakash & Meghna Sahay
(847) 530-3506

Property Address:

1057 Elmwood,
Deerfield, Illinois, 60015

Lender:

Smooth Mortgage Company, LLC

Scope of Work (Work Write-Up/WWU) Agreement For Fannie Mae HomeStyle® Renovation Loan Project

This Scope of Work document (also known as the Work Write-Up or WWU) outlines the agreed-upon items to be included in the renovation escrow account for the loan being obtained by the borrower(s) indicated above. This document, also referred to as the Specification of Repairs (SOR), has been created using information and cost estimates typically derived from the bid submitted by the selected contractor.

1. Limited Property Access and Disclosure

The borrower acknowledges that this WWU was developed based on limited access to the property and its systems or components. It is understood that additional or revised scope of work may be necessary once renovation begins and concealed conditions are revealed. The borrower agrees to hold the renovation consultant harmless for any changes or costs arising from such latent or concealed defects discovered after closing.

2. Change Order Procedures

Any requested modifications to the scope of work must be submitted in writing to the renovation consultant before the proposed work begins. The contractor will prepare a detailed Change Order Invoice, which must be reviewed and signed by the borrower. The signed Change Order will then be submitted to the renovation consultant for review and forwarded to the lender for prior written approval.

If the change order includes desired (non-essential) items that are not necessary for safety, code compliance, or structural integrity, the lender may require that the contractor establish separate payment terms. Such desired items will not be paid from escrow until at least 80% of the original WWU items have been completed and disbursed. In most cases, this means payment for desired changes will not occur until the final draw request.

3. Scope Modifications After Closing

Should significant changes to the scope be identified post-closing, the consultant reserves the right to recommend reallocation of escrow funds to address newly discovered safety, code, or soundness concerns. The priority of repairs may shift accordingly to ensure compliance with the HomeStyle® Renovation Loan requirements and local building codes.

4. Project Communication and Inspections

The borrower and contractor agree to maintain open, ongoing, and professional communication throughout the duration of the project. All parties commit to making reasonable efforts to attend scheduled inspections or walkthroughs required by the lender or consultant for verification and draw release purposes.

5. Termination Rights and Governing Documents

The termination terms of the contract between the Borrower and Contractor are governed by the lender's contract, and any terms or conditions in the lender's contract related to termination shall take precedence. The Final Work Write-Up (FWWU) is not intended to amend or alter the lender's contract, nor shall it impose post-termination obligations on the Renovation Consultant. The scope of work outlined in this document is intended to guide the work required for the project, and any changes to the contract terms or obligations related to contractor performance should be addressed directly with the lender and contractor as per the lender's contractual terms. In the event of termination or project modification, the Borrower and Contractor agree to handle the transition in accordance with the lender's instructions and protocols. The Renovation Consultant's responsibilities remain focused on providing oversight of the scope of work and reporting, as required, in compliance with lender procedures.

6. Pre-Existing Agreement with Consultant

The borrower affirms that prior to the creation of this WWU, a separate Homeowner/Consultant Agreement was executed. The terms of that agreement remain in full effect for the pre-closing period and throughout the full duration of the consultant's engagement during the renovation project.

7. Acknowledgment

By signing below, all parties confirm their understanding of and agreement with the terms set forth in this Scope of Work/Work Write-Up document. This agreement is to be used in conjunction with the HomeStyle® Renovation Loan and is subject to the guidelines of the lender providing the financing.

Construction Categories, Items & Costs (Construction Cost Estimate)

	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
1. Masonry	\$0.00	\$0.00	\$0.00	\$0.00

	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
2. Siding	\$24500.00	\$14500.00	\$0.00	\$39000.00

Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Permit(s) For All Construction .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Permits for all construction (Extact rate to follow) General Building Permit	R	LS	1	10000.00	LS	1	0.00	0.00	10000.00
2 Install New Siding .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Install siding as per below	D	LS	1	14500.00	LS	1	14500.00	0.00	29000.00
2. Siding Totals:				24500.00			14500.00	0.00	39000.00

Category Details

Contractor to provide and install all siding system components—including exterior wall cladding, siding materials, and additional exterior finishes

—per the architectural drawings (A3.1, A3.2) and in compliance with applicable local building codes.

Siding details provided by borrower to be considered part of this agreement.

Borrower specifications for siding: LP Expert Finish vertical siding with Trim in Abyss Black for the front of the house.

- CertainTeed Board and Batten Vertical Vinyl Siding for the other sides of the property,

- Exterior Wall Cladding (Brick/Stone Veneer): Install per A2.0 specifications
- 5" Vertical Vinyl Siding: Install per A3.1 specifications
- EIFS System: Install per A3.2 specifications
- Prefinished Aluminum Fascia Enclosure: Install per A3.1 specifications
- PVC Soffit Panel System: Install per A3.2 specifications

Scope:

This estimate covers the supply and installation of all siding system components

—including the exterior wall cladding (brick/stone veneer), 5" vertical vinyl siding, EIFS system, prefinished aluminum fascia enclosure,

and PVC soffit panel system—as specified in the architectural drawings (A3.1, A3.2,

and the cladding details from A2.0) and in compliance with applicable local building codes.

Cost to include dumpster rental fees as needed.

	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
3. Gutters/Downspouts	\$0.00	\$0.00	\$0.00	\$0.00

	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
4. Roof	\$5900.00	\$5700.00	\$0.00	\$11600.00

Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install new roof .. Location: All Areas Repairer: Contractor	D	LS	1	5900.00	LS	1	5700.00	0.00	11600.00

.. *Repair Notes:* Contractor to provide and install roofing as per below.

	4. Roof Totals:	5900.00		5700.00	0.00	11600.00
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Category Details

Contractor to provide and install all roofing system components per the architectural plans and in compliance with all applicable local building codes.

Cost to include all required permit and municipal inspection fees. Permits required prior to first draw.
Certification of satisfactory completion required prior to final disbursement on category.
Amount estimated for permits \$500)

Roofing Materials & Installation:

Roofing details provided by borrower to be considered part of this agreement.

- Asphalt Shingles -CertainTeed Landmark Pro. Install per A1.5 specifications.
- EPDM Single-Ply Roof Membrane - Install per A1.5 specifications.

Roof Sheathing:

- 3/4" Plywood - Install per specifications.

Roof Drainage & Flashing:

- Prefinished Aluminum Gutter & Downspout System - Matte Black. Install per specifications.
- Prefinished Aluminum Fascia Enclosure - Matte Black. Install per specifications.
- Flashing at Roof Openings & Curbs - Install per S2.0 specifications.

Structural Components & Support:

- Roof Framing Adjustments for Openings >12" x 12" - Install per S1.2 specifications.
- Roof Curb Fabrication & Installation - Install per S1.2 specifications.

Scope:

This estimate covers the supply and installation of all roofing materials and components—including roofing materials and installation (asphalt shingles and EPDM membrane), roof sheathing (3/4" plywood), roof drainage and flashing (aluminum gutter & downspout system, aluminum fascia enclosure, and flashing at roof openings and curbs), and structural components (roof framing adjustments for openings and roof curb fabrication and installation)—as specified in the architectural drawings (A1.5, S1.2, S2.0) and in compliance with all applicable local building codes.

Cost to include dumpster rental fees as needed.

	5. Shutters	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
		\$0.00	\$0.00	\$0.00	\$0.00

	6. Exteriors	<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
		\$2750.00	\$3000.00	\$0.00	\$5750.00

<i>Repair Item</i>	<i>Repair Class</i>	<i>M.Unit</i>	<i>M.Qty</i>	<i>M.Cost</i>	<i>L.Unit</i>	<i>L.Qty</i>	<i>L.Cost</i>	<i>Tax</i>	<i>Sub Total</i>
1 Exterior System Components & Site Work .. <i>Location:</i> Exterior <i>Repairer:</i> Contractor .. <i>Repair Notes:</i> Contractor to provide and install exterior envelope components per as below.	D	LS	1	2750.00	LS	1	3000.00	0.00	5750.00

	6. Exteriors Totals:	2750.00		3000.00	0.00	5750.00
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Category Details

Contractor to provide and install all exterior envelope components—specifically the weather barrier & insulation system and exterior trim & moldings—per the architectural drawings (A2.1, A3.0) and in compliance with applicable local building codes.

Weather Barrier & Insulation System: – Apply house wrap and R-19 insulation per A2.1 specifications
Exterior Trim & Moldings: – Install per A3.0 specification

Scope: This estimate covers the supply and installation of the weather barrier and insulation system (house wrap and R-19 insulation) and the exterior trim & moldings as specified in the architectural drawings (A2.1 and A3.0) and in compliance with applicable local building codes.

Cost to include dumpster rental fees as needed.

7. Walks				Material:	Labor:	Tax:	Total:		
				\$4000.00	\$4500.00	\$0.00	\$8500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Concrete Walkways/Stairs With Handrails .. Location: Front Entrance Repairer: Contractor .. Repair Notes: contractor to provide and install new concrete walkway and stairs as per below.	D	LS	1	4000.00	LS	1	4500.00	0.00	8500.00
7. Walks Totals:				4000.00			4500.00	0.00	8500.00

Category Details

Contractor to provide and install all entry apron and front entrance stair components with handrails per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes.

Walkway & Stair Components:

- Concrete Walkway Construction – Construct per AS1.0 specifications
- Front Entrance Stairs (Concrete) – Construct per AS1.0 specifications
- Handrails – Install per AS1.0 specifications

Scope: This estimate covers the supply and installation of all apron, and front entrance stair components—including concrete walkway construction, front entrance concrete stairs, and the installation of handrails—as detailed in the architectural drawings (AS1.0) and in compliance with applicable local building codes.

8. Driveways				Material:	Labor:	Tax:	Total:		
				\$3500.00	\$4000.00	\$0.00	\$7500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Concrete Driveway .. Location: Exterior Front Repairer: Contractor .. Repair Notes: Contractor to provide and install new concrete driveway per as below.	D	LS	1	3500.00	LS	1	4000.00	0.00	7500.00
8. Driveways Totals:				3500.00			4000.00	0.00	7500.00

Category Details

Contractor to provide and install all driveway paving components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes.

Driveway Paving Components:

- Driveway Paving (To Curb) – Install per AS1.0 specifications for approximately 903 SF
- On-Site Driveway Paving – Install per AS1.0 specifications for approximately 546 SF

Scope: This estimate covers the supply and installation of all driveway paving components—including paving to the curb and on-site paving—as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

9. Painting (Ext.)				Material:	Labor:	Tax:	Total:		
				\$1500.00	\$4000.00	\$0.00	\$5500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Paint	D	EA	1	1500.00	EA	1	4000.00	0.00	5500.00
.. Location: All Areas									
Repairer: Contractor									
.. Repair Notes: Contractor to provide and install new paint as per below.									
9. Painting (Ext.) Totals:				1500.00			4000.00	0.00	5500.00

Category Details

CContractor to provide and install all exterior painting components per the architectural plans (A2.0, A2.1, A3.0) and municipal code. All work will comply with applicable local building codes.

Surface Preparation & Cleaning:

- Clean, power wash, scrape, and prime surfaces

Painting of Exterior Wall Cladding:

- Apply primer and two coats per A2.0 specifications

Painting of EIFS System:

- Apply primer and topcoat per A3.1, A3.2 specifications

Painting of Exterior Trim & Moldings:

- Paint per A3.0 specifications

Scope: This estimate includes all required surface preparation and painting of exterior wall cladding, EIFS areas, and exterior trim & moldings as specified in the architectural plans (A2.0, A2.1, A3.0) and in compliance with applicable local building codes.

10. Caulking				Material:	Labor:	Tax:	Total:		
				\$0.00	\$0.00	\$0.00	\$0.00		

11. Fencing				Material:	Labor:	Tax:	Total:		
				\$0.00	\$1500.00	\$0.00	\$1500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install new fencing.	D	LS	1	0.00	EA	1	1500.00	0.00	1500.00
.. Location: All Areas									
Repairer: Contractor									
.. Repair Notes: Contractor to provide and install new fencing as per below.									
11. Fencing Totals:				0.00			1500.00	0.00	1500.00

Category Details

Contractor to provide and install all fencing system components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes.

Fencing System Components:

- 6' Chain Link Fence with Weighted Legs - Install per AS1.0 specifications for the designated area -
- 10' Swing Gate with Lock and Temporary Mailbox - Install per AS1.0 specifications

Scope: This estimate covers the installation of the 6' chain link fence with weighted legs and the 10' swing gate with lock and temporary mailbox as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

12. Grading/Landscaping				Material:	Labor:	Tax:	Total:		
				\$2000.00	\$2000.00	\$0.00	\$4000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Exterior Site Work & Landscaping .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install landscaping per as below.	D	LS	1	2000.00	LS	1	2000.00	0.00	4000.00
12. Grading/Landscaping Totals:				2000.00			2000.00	0.00	4000.00

Category Details

Contractor to provide and install all grading and landscape components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes.

Grading & Landscape Components:

- Site Clearing & Grading – Clear and remove debris, then perform rough grading and final contouring per AS1.0 specifications
- Erosion & Sediment Control Measures – Install silt fences, sediment basins, and other measures per AS1.0 specifications
- Soil Preparation & Topsoil Installation – Prepare planting beds and distribute quality topsoil per landscape design
- Sod Installation – Install sod over designated areas as specified
- Planting of Trees, Shrubs & Groundcover – Supply and install trees, shrubs, and groundcover per design
- Irrigation System Installation – Provide and install drip or sprinkler system per landscape design
- Mulch & Hardscape Elements – Install mulch and incorporate designated hardscape details

TScope: This estimate covers the supply and installation of all grading and landscape components—including site clearing, rough grading, final contouring, erosion and sediment control measures, and landscape installation (soil preparation, topsoil, sod, plantings, irrigation, mulch, and hardscape elements)—as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

13. Windows				Material:	Labor:	Tax:	Total:		
				\$17000.00	\$10000.00	\$0.00	\$27000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install new windows .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to remove existing (as required) provide and install new windows at all areas as per below.	D	LS	1	17000.00	LS	1	10000.00	0.00	27000.00
13. Windows Totals:				17000.00			10000.00	0.00	27000.00

Category Details

Contractor to provide and install all window system components per the architectural plans (A2.0, A3.0, A7.0), Fixture, Finish & System Specifications sheet. All work will comply with applicable local building codes.

Window System Components:

- Fixed Picture Windows – Install fixed picture windows with no grid, featuring clear 1" insulated glazing (1/4" heat-treated + 1/2" air + 1/4" heat-treated) and a black coated finish.
- Casement Window System – Install casement windows with no grid, featuring clear 1" insulated glazing (1/4" heat-treated + 1/2" air + 1/4" heat-treated) and a black coated finish.
- Awning Windows – Install awning windows with clear insulated glazing and tempered glass where required.

Additional Window Components:

- 7/8" Brick Moulding – Install with the return removed for a trimless window installation.
- Flashing & Sealing – Seal all windows with water-resistant flashing and caulk per manufacturer specifications.

Scope:

This estimate covers the supply and installation of all window system components—including fixed picture windows, casement windows, and awning windows, along with additional components such as 7/8" brick moulding, flashing, and sealing—as specified in the architectural plans (A2.0, A3.0, A7.0) and Fixture, Finish & System Specifications sheet. All work will be in compliance with applicable local building codes. The homeowner has specifically requested vinyl-clad windows for this installation.

14. Weatherstrip	Material:	Labor:	Tax:	Total:
	\$0.00	\$0.00	\$0.00	\$0.00

15. Doors (Ext.)	Material:	Labor:	Tax:	Total:
	\$5000.00	\$3000.00	\$0.00	\$8000.00

Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Remove and replace old with new doors .. Location: Exterior Repairer: Contractor .. <i>Repair Notes:</i> Contractor to remove existing (as required) provide and install new exterior doors at all areas as per below.	D	LS	1	5000.00	LS	1	3000.00	0.00	8000.00
15. Doors (Ext.) Totals:				5000.00			3000.00	0.00	8000.00

Category Details

Contractor to provide and install all exterior door system components per the architectural plans (A7.0) and Fixture, Finish & System Specification sheet, and in compliance with all applicable local building codes.

Exterior Door System Components:

- Front Entrance Door – Install a prehung insulated entry door with matching hardware per A7.0 specifications
- Rear Sliding Patio Door – Install a sliding glass door system with insulated glazing per A7.0 specifications
- Garage Overhead Door – Install an insulated, sectional overhead door per A7.0 specifications

Scope: This estimate covers the supply and installation of all exterior door system components—including the front entrance door, rear sliding patio door, and garage overhead door—as specified in the architectural plans (A7.0) and Fixture, Finish & System Specifications sheet, and in compliance with applicable local building codes.

16. Doors (Int.)	Material:	Labor:	Tax:	Total:
	\$8000.00	\$8000.00	\$0.00	\$16000.00

Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Interior Doors .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install new interior doors as per below.	D	LS	1	8000.00	LS	1	8000.00	0.00	16000.00
16. Doors (Int.) Totals:				8000.00			8000.00	0.00	16000.00

Category Details

Contractor to provide and install all interior door system components per the architectural plans (A7.0) and municipal code; Fixture, Finish & System Specifications, and in compliance with all applicable local building codes.

Interior Door Components:

- Prehung 1-Panel Flat Shaker Primed Solid Wood Doors – Install per manufacturer's specifications –
- Prehung 1-Panel Shaker Bi-Fold Doors – Install per manufacturer's specifications
- Prehung 1-Panel Flat Shaker Primed Solid Wood Pocket Doors – Install per manufacturer's specifications
- Garage Service Door – Masonite Prehung Steel 90-Min Fire Rated Insulated Door (Model #17895 or Approved Equal)

Interior Door Hardware:

- Kwikset Pismo Round Matte Black Bed/Bath Door Knob with Lock

- Kwikset Pismo Round Matte Black Hall/Closet Door Knob
- Kwikset Pismo Round Matte Black Dummy Door Knob
- Everbilt 3-1/2 in. x 1/4 in. Radius Matte Black Squeak-Free Door Hinges (3-Pack)

Scope: This estimate covers the supply and installation of all interior door system components—including prehung interior doors in various configurations (flat shaker, bi-fold, and pocket doors) and the corresponding door hardware—as specified in the architectural plans (A7.0) and Fixture, Finish & System Specifications, and in compliance with applicable local building codes.

17. Partition Wall				Material:	Labor:	Tax:	Total:		
				\$16000.00	\$20000.00	\$0.00	\$36000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Framing of new walls and partitions (Do not include drywall cost). .. Location: All Areas Repairer: Contractor .. Repair Notes: Contarctor to provide and install walls per as below.	D	LS	1	16000.00	EA	1	20000.00	0.00	36000.00
17. Partition Wall Totals:				16000.00			20000.00	0.00	36000.00

Category Details

Contractor to provide and install all wall and floor framing components—including interior partition walls, exterior wall framing, load-bearing walls, and floor framing elements—per the architectural plans (A1.0, A1.1, A7.0) and municipal code. All work shall comply with applicable local building codes.

Interior Partition Walls – Wood Stud Framing (3 1/2" Kiln-Dried, 16" O.C.):

- Install interior partition walls as specified in the drawings.

Primary Structural Framing – 1st Floor Framing (Load-Bearing Walls, Beams, Columns, & Floor Framing):

- Install load-bearing walls, beams, columns, and integrated floor framing components for the 1st floor as specified in the drawings.

Primary Structural Framing – 2nd Floor Framing (Load-Bearing Walls, Beams, Columns, & Floor Framing):

- Install load-bearing walls, beams, columns, and integrated floor framing components for the 2nd floor as specified in the drawings.

Primary Structural Framing – Garage Wall Framing:

- Install load-bearing garage wall framing as specified in the drawings.

Scope:

This estimate covers the provision and installation of all wall and floor framing components as specified in the architectural drawings. It includes interior partition walls with wood stud framing, as well as primary structural framing for all walls—including exterior and load-bearing walls—and flooring components for the 1st floor, 2nd floor, and garage. All work will be executed in accordance with the drawings, manufacturer's specifications, and applicable local building codes.

18. Plaster/Drywall				Material:	Labor:	Tax:	Total:		
				\$6500.00	\$22000.00	\$0.00	\$28500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Drywall .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install drywall per as below.	D	LS	1	6500.00	LS	1	22000.00	0.00	28500.00
18. Plaster/Drywall Totals:				6500.00			22000.00	0.00	28500.00

Category Details

Contractor to provide and install all drywall system components—including supply, installation, and finishing (tape, mud, and sanding)—per the architectural plans (A1.6) and Fixture, Finish & System Specifications, and in compliance with all applicable local building codes.

Drywall System Components:

- 5/8" Type X Gypsum Board – Supply and install as specified on A1.6 and per Fixture, Finish & System Specifications
- Taping, Mudding, and Sanding – Apply tape, mud, and sand all drywall joints and seams to achieve a smooth, paint-ready finish as detailed on A1.6 and in the Fixture, Finish & System Specifications

Scope: This estimate covers the supply, installation, and finishing of all drywall system components—including the 5/8" Type X gypsum board and the complete taping, mudding, and sanding of all joints—as specified in the architectural plans (A1.6) and Fixture, Finish & System Specifications, and in compliance with applicable local building codes.

19. Decorating				Material:	Labor:	Tax:	Total:		
				\$2620.00	\$8000.00	\$0.00	\$10620.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Paint interior trim, walls, and ceilings .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install interior prep and paint per below.	D	LS	1	2620.00	LS	1	8000.00	0.00	10620.00
19. Decorating Totals:				2620.00			8000.00	0.00	10620.00

Category Details

Contractor to provide and install all interior painting components per the architectural drawings (A1.0, A1.7) and Fixture, Finish & System Specifications sheet; all work shall comply with municipal code and applicable local building codes.

Interior Painting Components:

- Surface Preparation & Cleaning – Clean, repair, patch, and prime all interior drywall surfaces as detailed on A1.0 and per Fixture, Finish & System Specifications
- Wall & Ceiling Painting – Apply primer and two coats of high-performance finish paint to all walls and ceilings per A1.0 specifications and manufacturer recommendations
- Trim Painting – Paint all interior trim—including door casings, baseboards, and window frames—as specified on A1.7

Scope: This estimate covers the provision and installation of all interior painting components—including surface preparation, wall and ceiling painting, and trim painting—as specified in the architectural drawings (A1.0, A1.7) and Fixture, Finish & System Specifications sheet, and in compliance with municipal code and applicable local building codes.

20. Wood Trim				Material:	Labor:	Tax:	Total:		
				\$2116.12	\$2478.00	\$0.00	\$4594.12		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Wood Trim .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install wood trim as per below.	D	LS	1	2116.12	LS	1	2478.00	0.00	4594.12
20. Wood Trim Totals:				2116.12			2478.00	0.00	4594.12

Category Details

Contractor to provide and install all wood trim components per the interior finish drawings and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes.

Wood Trim Components:

- Baseboards – Install pre-finished wood baseboards along all designated interior walls as specified
- Door & Window Casings – Install custom wood casings around all interior doors and windows per design details
- Crown Molding – Install crown molding in designated areas to complete the interior finish per specifications

Scope: This estimate covers the provision and installation of all wood trim components—including baseboards, door & window casings, and crown molding—as specified in the interior finish drawings and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

21. Stairs				<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>		
				\$1800.00	\$3000.00	\$0.00	\$4800.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Stairs .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install stairs as per below.	D	LS	1	1800.00	LS	1	3000.00	0.00	4800.00
21. Stairs Totals:				1800.00			3000.00	0.00	4800.00

Category Details

Contractor to provide and install all interior stair components per the architectural drawings (A1.6, A1.7) and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes.

Interior Stair Components:

- Stair Stringers & Framing: Supply and install the structural stringers and framing components for the stair assembly as specified treads and risers per the drawings
- Handrail System (Including Newel Posts & Balusters): Install a secure handrail system with all associated hardware, newel posts, and balusters per design details
- Finishing & Detailing: Sand, prime, and complete final detailing to ensure a smooth, finished surface on all stair components per manufacturer recommendations

Scope: This estimate covers the supply and installation of all interior stair components—including stair stringers and framing, treads and risers, a handrail system with newel posts and balusters, and final finishing and detailing—as specified in the architectural drawings (A8.0, A8.1) and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

22. Closets				<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>		
				\$1200.00	\$3400.00	\$0.00	\$4600.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Closet Components .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install all closet components per the details below.	D	LS	1	1200.00	LS	1	3400.00	0.00	4600.00
22. Closets Totals:				1200.00			3400.00	0.00	4600.00

Category Details

Contractor to provide and install all closet components per the interior finish drawings and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes.

Closet Components:

- Custom Closet Cabinetry & Shelving: – Supply and install custom closet cabinetry, shelving, and drawer units as specified
- Closet Hanging System: – Install closet hanging rods and accessories as specified
- Closet Lighting: – Provide and install an integrated closet lighting system as specified
- Hardware & Finishing: – Supply and install all closet hardware (handles, drawer pulls, etc.) as specified

Scope: This estimate covers the supply and installation of all closet components—including custom cabinetry, shelving, closet hanging systems, integrated lighting, and associated hardware—as specified in the interior finish drawings and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
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23. Wood Floors

\$0.00

\$0.00

\$0.00

\$0.00

24. Finished Floors

Material:
\$9000.00Labor:
\$18500.00Tax:
\$0.00Total:
\$27500.00

Repair Item

Repair
Class

M.Unit

M.Qty

M.Cost

L.Unit

L.Qty

L.Cost

Tax

Sub Total

1 Install New Flooring

.. **Location:** All Areas**Repairer:** Contractor.. **Repair Notes:** Contractor to provide and install the flooring as per below.

D

LS

1

9000.00

LS

1

18500.00

0.00

27500.00

24. Finished Floors Totals:

9000.00

18500.00

0.00

27500.00

Category Details

Contractor to provide and install all finished floor components per the architectural drawings (G0.0) and Finish, Fixture, & Specifications sheet. All work shall comply with applicable local building codes.

Finished Floor Components:

- LVP Flooring Installation – Install prefinished luxury vinyl plank flooring in designated living areas and bedrooms as specified
- Marble Flooring Installation – Install marble flooring in the powder room, pantry, mudroom, and bathrooms as specified

Scope: This estimate covers the provision and installation of all finished floor components as specified in the architectural drawings and in compliance with applicable local building codes. It includes the installation of LVP flooring in designated living areas and bedrooms, and marble flooring in the powder room, pantry, mudroom, and bathrooms, all executed in accordance with manufacturer's specifications.

25. Ceramic Tile

Material:
\$0.00Labor:
\$0.00Tax:
\$0.00Total:
\$0.00

26. Bath Accessories

Material:
\$500.00Labor:
\$500.00Tax:
\$0.00Total:
\$1000.00

Repair Item

Repair
Class

M.Unit

M.Qty

M.Cost

L.Unit

L.Qty

L.Cost

Tax

Sub Total

1 Install Bathroom Accessories

.. **Location:** All Areas**Repairer:** Contractor.. **Repair Notes:** Contractor to provide and install as per below.

D

LS

1

500.00

LS

1

500.00

0.00

1000.00

26. Bath Accessories Totals:

500.00

500.00

0.00

1000.00

Category Details

Contractor to provide and install all bathroom accessories as part of the project scope. All work shall comply with municipal code, applicable local building codes, and manufacturer's specifications. Placement of accessories will be determined during the installation phase in consultation with the homeowner or consultant.

Line Items:

- Vanity Mirror & Medicine Cabinet:

Provide and install a custom vanity mirror with integrated medicine cabinet per specifications – \$X.

- Towel Bars & Robe Hooks:

Install towel bars and robe hooks at locations designated by the homeowner or consultant – \$X.

- Toilet Paper Holder & Shelving:

Provide and install a toilet paper holder and wall-mounted shelving for accessories – \$X.

- Additional Accessories:

Install additional items (e.g., soap dishes, paper dispensers, etc.) as directed by the homeowner or consultant – \$X.

Scope of Work:

This estimate includes the provision and installation of all bathroom accessories as part of the project scope. The work includes:

- Installation of a custom vanity mirror with integrated medicine cabinet.

- Installation of towel bars and robe hooks at designated locations.
- Provision and installation of a toilet paper holder and wall-mounted shelving.
- Installation of additional accessories (e.g., soap dishes, paper dispensers, etc.) as specified.

All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes. Placement of accessories will be finalized during the installation phase to ensure homeowner satisfaction.

27. Plumbing				Material:	Labor:	Tax:	Total:		
				\$5850.00	\$7600.00	\$0.00	\$13450.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Plumbing System .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install complete plumbing system.	D	LS	1	5000.00	LS	1	7000.00	0.00	12000.00
2 Install Battery Backup & High Water Alarm .. Location: Basement Repairer: Contractor .. Repair Notes: Install High water alarm and battery back up system to sump pump per home inspection report.	R	LS	1	850.00	LS	1	600.00	0.00	1450.00
27. Plumbing Totals:				5850.00			7600.00	0.00	13450.00

Category Details

Contractor to provide and install all plumbing system components per the architectural drawings (P1.0, P1.2) and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes.

Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount estimated for permits \$350)

Bathroom Plumbing (All Bathrooms):

- Install all bathroom fixtures as specified:
 - o Toilets: Kohler Highline K-3519-T White, 1.6 GPF
 - o Lavatory Sinks: Per specifications (TBD in drawings)
 - o Faucets: Per specifications (TBD in drawings)
 - o Showerheads and Controls: Per specifications (TBD in drawings)
 - o Bathtubs: American Standard 2391RH.020 White
- Install all water supply and drainage lines per P1.0 and P1.2.
- Provide and install all required shutoff valves and supply connections.

Kitchen & Laundry Plumbing:

- Install kitchen plumbing components:
 - o Kitchen Sink & Faucet: Per specifications
 - o Garbage Disposal: Insinkerator Badger 5 or Approved Equal
 - o Dishwasher Connection: Includes shutoff valve and drain line
- Install laundry plumbing:
 - o Washing Machine Hookup: Provide hot and cold water lines, shutoff valves, and drain connection.

Basement & Garage Plumbing:

- Install the following plumbing components:
 - o Floor Drain: As specified in plumbing plans
 - o Sump Pump: Zoeller M53 Mighty-Mate or Approved Equal
 - o Water Heater: Reuse existing unit per project specifications

Water Supply & Drainage System:

- Install whole-house water supply piping:
 - o Copper Type L (above grade), Type K (below grade)
- Install all drain/waste/vent piping:
 - o PVC Schedule 40
- Provide a new water main supply service as specified.

Recommended by Consultant:

- Sump Pump Battery Backup: Install a battery backup system for 2 sump pumps.
- Sump Pump High Water Alarm: Install one high water alarm for critical water levels (one is already present).
- Sensor Adjustment: Note that specified sensors are not suitable for use with high water alarm systems. They are designed to detect water overflow from sump pump pits, not monitor high water levels within the pits.

Scope:

This estimate covers the provision and installation of all plumbing system components as specified in the architectural drawings (P1.0, P1.2) and Fixture, Finish & Specifications Sheet. It includes bathroom fixtures, kitchen and laundry plumbing, basement and garage plumbing, the complete water supply and drainage system, and the recommended sump pump battery backup and high water alarm. All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

28. Electrical				Material:	Labor:	Tax:	Total:		
				\$5550.00	\$11150.00	\$0.00	\$16700.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Electrical System .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> IContractor to provide and install complete electrical system per as below.	D	LS	1	5500.00	LS	1	11000.00	0.00	16500.00
2 Install Dishwasher Disconnect Switch .. Location: Kitchen Repairer: Contractor .. <i>Repair Notes:</i> Install dishwasher disconnect switch as per below.	R	LS	1	50.00	LS	1	150.00	0.00	200.00
28. Electrical Totals:				5550.00			11150.00	0.00	16700.00

Category Details

Contractor to provide and install all electrical system components per the architectural plans (E1.0, E1.1) and Fixture, Finish & System Specifications sheet; all work shall comply with municipal code and applicable local building codes.

Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount estimated for permits \$500)

Electrical System Components: • 200-Amp Main Electrical Service Panel & Wiring - Install a 200-Amp main service panel (including breakers and wiring)

• Branch Circuit Wiring for Receptacles, Switches & Fixtures - Run wiring using standard NM cable in dry locations and MC cable in wet/exposed areas throughout the building

• Grounding System - Provide and install a complete grounding system (bonding to water line and ground rod)

• Receptacles, Switches & Fixtures - Install standard duplex receptacles (tamper resistant), GFCI outlets, AFCI protection, and specified switches-s per the Fixture, Finish & System Specifications

• Lighting Fixtures & Installation - Install 6" recessed LED downlights, 4" recessed LED downlights, pendant and wall-mounted fixtures, and exterior wall-mount LED fixtures

• Low Voltage & Special Systems - Install CAT6 data wiring, hardwired smoke and carbon monoxide detectors, and a doorbell/intercom system

• Driveway Integrated Electrical Components - Install driveway accent LED lighting fixtures and the associated lighting control module

• Dishwasher disconnect within appliance view per consultant recommendation.

Scope: This estimate covers the provision and installation of all electrical system components as specified in the architectural plans (E1.0, E1.1) and Fixture, Finish & System Specifications sheet; it includes the installation of the 200-Amp main service panel and associated wiring, branch circuit wiring for receptacles, switches, and fixtures, a complete grounding system, the specified receptacles, switches and fixtures, lighting fixtures and their installation, low voltage systems, and driveway integrated electrical components—all executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

29. Heating				Material:	Labor:	Tax:	Total:		
				\$16700.00	\$10000.00	\$0.00	\$26700.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Install Heating and Cooling	D	LS	1	13600.00	LS	1	10000.00	0.00	23600.00
.. Location: All Areas										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install heating and cooling sytem per as below.										
2	Provide and install fireplace	D	EA	1	3100.00	EA	1	0.00	0.00	3100.00
.. Location: Family Room										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install fireplace as per architectural plans and as per below for a complete job.										
29. Heating Totals:					16700.00			10000.00	0.00	26700.00

Category Details

Contractor to provide and install all HVAC system components per the architectural drawings (M1.0, M1.1); all work shall comply with municipal code and applicable local building codes.

Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount. estimated for permits \$500)

Heating System:

\$750 labor cost for fireplace installation included in material/lump sum number as per contractor.

Details provided by borrower to be considered part of this agreement.

- Furnace – Install Goodman GM9S960403AN, 40K BTU, 96% AFUE Multi-Speed.
- Exhaust Flue Installation – Install per manufacturer's recommendations
- Fireplace in family room - Empire Tahoe Deluxe 36 Clean Face Direct Vent Gas Fireplace (Model # DVCD36FP)

Cooling System:

- Air Conditioning Unit – Install Goodman GSXN401810, 1.5 Ton, 14.3 SEER2, R-410A Refrigerant.
- Cased Coil – Install Goodman CAPF1824B6, 17.5-inch.

Ventilation System:

- Ductwork – Install galvanized 24GA insulated ductwork per SMACNA standards.
- Return Air Grilles – Install Everbilt Fixed Return Grille (White).
- Supply Air Registers – Install Everbilt 2-Way Register with Damper (White).
- Humidification System – Provide ½" cold water line connection.
- Exhaust Vent Through Roof – Install including flashing and rain shield.

Control & Exhaust Systems:

- Smart Thermostat – Install Ecobee with Sensor.
- Exhaust Fans – Install Utilitech 100 CFM Ceiling Mount (Model 7115-03).
- Balancing Dampers – Install for each diffuser/register/grille.

Scope:

This estimate covers the provision and installation of all HVAC system components as specified in the architectural drawings (M1.0, M1.1); it includes the installation of the heating system (furnace and exhaust flue), cooling system (air conditioning unit and cased coil), ventilation system (ductwork, return grilles, supply registers, humidification system, and roof exhaust vent), and control & exhaust systems (smart thermostat, exhaust fans, and balancing dampers), all executed in accordance with manufacturer's recommendations, municipal code, and applicable local building codes.

30. Insulation				<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
				\$0.00	\$0.00	\$0.00	\$0.00

31. Cabinetry				<i>Material:</i>	<i>Labor:</i>	<i>Tax:</i>	<i>Total:</i>
				\$16923.50	\$6800.00	\$0.00	\$23723.50

Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total	
1	Install Cabinets & Countertops	D	LS	1	16923.50	LS	1	6800.00	0.00	23723.50
.. Location: Kitchen										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install cabinets and countertops per as below.										
31. Cabinetry Totals:				16923.50			6800.00	0.00	23723.50	

Category Details

Contractor to provide and install all kitchen, bath, and powder room cabinetry and countertop components per the architectural plans (A4.0), Interior Finish, Fixture & Specifications Sheet, and Cabinet Packet; all work shall comply with municipal code and applicable local building codes. Note that the homeowner's current sink base will be reused for the kitchen, and the current kitchen cabinetry will be reused for the pantry. These items are not to be included in the estimate.

Kitchen Cabinetry

- Kitchen Island Base Cabinets – Supply and install base cabinetry (including drawer and door units) for the kitchen island as specified.
- Kitchen Perimeter Cabinets – Supply and install all new cabinetry for the kitchen perimeter as specified in the plans.

Bathroom/Powder Room Cabinetry

- Vanity Cabinets – Supply and install vanity cabinetry (including drawer and door units) for all bathrooms per specifications.

Countertops

- Kitchen Island Countertop – Supply and install countertop for the kitchen island as specified.
- Perimeter Kitchen Countertops – Supply and install all countertops for the kitchen perimeter as specified.
- Bathroom Vanity Countertops – Supply and install countertops for all bathroom vanities per specifications.

Scope

This estimate covers the provision and installation of all new kitchen, bath, and powder room cabinetry and countertop components as specified in the interior finish drawings, Fixture, Finish & Specifications Sheet, and the Cabinet Packet. The homeowner's current sink base and upper cabinetry will be reused and are not included in this estimate. All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

32. Appliances				Material:	Labor:	Tax:	Total:		
				\$3000.00	\$1130.00	\$0.00	\$4130.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Appliances .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install appliance as per below.	D	LS	1	3000.00	LS	1	1130.00	0.00	4130.00
32. Appliances Totals:				3000.00			1130.00	0.00	4130.00

Category Details

Contractor to provide and install all kitchen appliance components per the architectural plans (Kitchen section) and Fixture, Finish & System Specifications sheet; all work shall comply with applicable local building codes.

Kitchen Appliance Components:

- Urita 2-Stage Under Sink Water Filtration System with Digital Display Monitor
- Badger 500 W/C, 1/2 HP Continuous Feed Kitchen Garbage Disposal with Power Cord, Badger Series
- ZLINE – Matte Black Garbage Disposal Air Switch with Air Hose
- 36-inch Externally Vented & Convertible Wall Range Hood, Brushed Stainless Steel
- nsignia™ – 130-Can Beverage Cooler, Silver
- Reuse of existing appliances (Range, Refrigerator, and Dishwasher) – No additional cost

Scope: This estimate covers the provision and installation of all kitchen appliance components as specified in the Fixture, Finish & System Specifications and in accordance with the architectural plans (Kitchen section). It includes the supply and installation of the listed new appliances with the reuse of the existing range, refrigerator, and dishwasher, all executed in accordance with manufacturer's specifications and applicable local building codes.

33. Basements				Material:	Labor:	Tax:	Total:		
				\$3400.00	\$4725.00	\$0.00	\$8125.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Water Intrusion Repair(s)	R	LS	1	600.00	LS	1	900.00	0.00	1500.00
	.. Location: Basement									
	Repairer: Contractor									
	.. Repair Notes: Contractor to repair water intrusion as per below.									
2	Passive Radon Mitigation System Installation	D	LS	1	2800.00	LS	1	3500.00	0.00	6300.00
	.. Location: Basement									
	Repairer: Contractor									
	.. Repair Notes: Install passive radon mitigation system as per below.									
3	Radon Level Testing	R	EA	1	0.00	EA	1	325.00	0.00	325.00
	.. Location: Basement									
	Repairer: Contractor									
	.. Repair Notes: Contractor to perform radon testing as per below.									
33. Basements Totals:					3400.00			4725.00	0.00	8125.00

Category Details

Foundation Crack Repair and Water Intrusion Evaluation

Contractor to provide a comprehensive evaluation of the foundation cracks and assess any water intrusion issues. All work shall comply with applicable local building codes and manufacturer specifications.

Foundation Crack Evaluation and Repair:

- Inspect two existing foundation cracks to determine the extent of damage and structural integrity.
- Clean and prepare the cracked areas for repair.
- Inject epoxy or suitable filler into each crack to restore structural integrity and form a watertight seal.
- Apply additional sealing measures, if necessary, to prevent future water intrusion.

Water Intrusion Evaluation:

- Assess the foundation for signs of water intrusion, including moisture staining and efflorescence.
- Provide recommendations for any required remedial actions or improvements to mitigate water intrusion risks.

Scope: All work will be executed in accordance with the industry's best practices, manufacturer's specifications, and applicable local building codes.

Install Passive Radon Mitigation System & Level Testing

Contractor to provide and install a complete passive radon mitigation system as specified in the plumbing drawings (P1.2) and Fixture, Finish & Specifications Sheet. All work shall comply with municipal and local building codes.

Slab Preparation & Radon Vent Pipe

- Excavate as necessary to access the sub-slab area.
- Install 3" Schedule 40 PVC vent piping under the slab.
- Seal all slab penetrations per specifications.

Vent Stack Through Roof

- Extend the radon vent pipe through the roof.
- Install proper flashing and weatherproofing in accordance with the drawing details.

Radon Sealants & Gaskets

- Provide and apply radon-rated sealants and gaskets at slab edges, penetrations, and control joints.

Scope: Installation will adhere to manufacturer recommendations, industry best practices, and applicable local building codes.

Test Setup & Deployment

- Supply and deploy approved radon testing equipment at designated locations.

Monitoring:

- Conduct continuous radon monitoring for a minimum of 48 hours to ensure accurate data collection.

Data Analysis & Reporting:

- Analyze the collected data and prepare a comprehensive report including findings and recommendations.

Scope: All testing procedures shall be performed after all major work is completed but before finalizing the project in accordance with applicable municipal codes and consultant guidelines.

34. Cleanup					Material:	Labor:	Tax:	Total:	
					\$650.00	\$950.00	\$0.00	\$1600.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Demo and Debris removal of components	D	LS	1	650.00	LS	1	950.00	0.00	1600.00
..	Location: All Areas									
	Repairer: Contractor									

	34. Cleanup Totals:				650.00			950.00	0.00	1600.00
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Category Details

Contractor to provide and perform all interior and exterior cleanup services per the project specifications and applicable municipal codes; all work shall be performed per plans and to the home owner's satisfaction.

Interior Cleanup:

- Dusting & Surface Cleaning – Clean all interior surfaces, including floors, walls, and fixtures
- Interior Window Cleaning – Clean all interior windows and glass surfaces
- Floor Cleaning – Vacuum, mop, and sweep all interior floor surfaces

Exterior Cleanup:

- Power Washing – Clean exterior walls, walkways, entryways, and decks
- Exterior Window Cleaning – Clean all accessible exterior windows
- Debris Removal – Remove and dispose of exterior debris
- Outdoor Surface Cleanup – Clean patios, driveways, and other exterior surfaces

Scope: This estimate covers the complete provision and execution of both interior and exterior cleanup services as specified in the project requirements; it includes detailed cleaning of interior surfaces, windows, and floors, as well as exterior power washing, window cleaning, debris removal, and outdoor surface cleanup, all performed per plans and to the home owner's satisfaction, in accordance with applicable municipal codes and manufacturer's recommendations.

35. Miscellaneous				Material:	Labor:	Tax:	Total:			
				\$2000.00	\$4500.00	\$0.00	\$6500.00			
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total	
1 Demolition	D	EA	1	2000.00	EA	1	4500.00	0.00	6500.00	
..	Location: All Areas									
	Repairer: Contractor									
..	Repair Notes: Contractor to perform demolition per as below.									
	35. Miscellaneous Totals:			2000.00			4500.00	0.00	6500.00	

Category Details

Contractor to provide and perform all demolition work, subsequent cleanup, and final cleanup services per the demolition plans (A0.0), architectural drawings, and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Dumpster costs included in other categories.

Line Items:

- Demolition of Interior Non-Load Bearing Walls – Demolish and remove all designated interior non-load bearing walls
- Removal of Floor Coverings and Baseboards – Demolish and remove existing floor coverings and baseboards
- Removal of Doors and Windows – Carefully remove existing doors and windows
- Debris Removal and Disposal – Collect, load, and dispose of all demolition debris –
- Protection and Incidental Demolition – Implement protective measures and address incidental demolition work

Scope: This estimate covers the complete demolition of designated interior non-load bearing walls, floor coverings, baseboards, doors, and windows—including debris removal and protective measures—performed in accordance with the demolition plans (A0.0), architectural drawings, and Fixture, Finish & Specifications Sheet, and in compliance with applicable municipal building codes.

Project Construction and Fee Estimate

Elmwood1057Prakash

Construction Categories	Total \$
Section 1 Masonry	0.00
Section 2 Siding	39000.00
Section 3 Gutters/Downspouts	0.00
Section 4 Roof	11600.00
Section 5 Shutters	0.00
Section 6 Exteriors	5750.00
Section 7 Walks	8500.00
Section 8 Driveways	7500.00
Section 9 Painting (Ext.)	5500.00
Section 10 Caulking	0.00
Section 11 Fencing	1500.00
Section 12 Grading/Landscaping	4000.00
Section 13 Windows	27000.00
Section 14 Weatherstrip	0.00
Section 15 Doors (Ext.)	8000.00
Section 16 Doors (Int.)	16000.00
Section 17 Partition Wall	36000.00
Section 18 Plaster/Drywall	28500.00
Section 19 Decorating	10620.00
Section 20 Wood Trim	4594.12
Section 21 Stairs	4800.00
Section 22 Closets	4600.00
Section 23 Wood Floors	0.00
Section 24 Finished Floors	27500.00
Section 25 Ceramic Tile	0.00
Section 26 Bath Accessories	1000.00
Section 27 Plumbing	13450.00
Section 28 Electrical	16700.00
Section 29 Heating	26700.00
Section 30 Insulation	0.00
Section 31 Cabinetry	23723.50
Section 32 Appliances	4130.00
Section 33 Basements	8125.00
Section 34 Cleanup	1600.00
Section 35 Miscellaneous	6500.00
Section 1 - 35 Construction Cost SUBTOTAL	\$352892.62

Fee Name	Fee Details	Total \$
Draw Fees	6 Draws at 375.000	2,250.00
Mileage Fee	29 Miles at 0.670 * 6 trips	116.58
Work Write Up/Consultant Fees	Total cost discounted for past customer Paid by Borrower	3000.00
TOTAL	Fee Grand Total	\$ 5,366.58

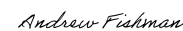
Sub Total Name	Notes	GRAND Total
Construction Subtotal		\$352892.62
Contingency Amount	10%	\$35289.26
Fee Total	Fee Grand Total	\$ 5,366.58
Grand Total		\$ 393,548.46

Date of Signature: 04-30-2025

CONSULTANT SIGNATURE: _____


BORROWER
SIGNATURE: _____


Suraj Prakash (May 7, 2025 14:52 CDT)

CONTRACTOR
SIGNATURE: _____




Consultant Services Agreement

This Agreement is made on 04-30-2025 between the Consultant and Client/Borrower. The Client hereby desires to engage the Consultant to perform services required to implement on HUD's Mortgage Insurance Program as it pertains to the architectural concerns for the Property located below.

Borrower/Client: Suraj Prakash & Meghna Sahay

Client Phone: (312) 613-6877

Client Address: 1057 Elmwood, Deerfield, Illinois, 60015

Consultant Name: Wayne John Lundberg

IT IS MUTUALLY UNDERSTOOD AND AGREED AS FOLLOWS:

1. **INITIAL WALK-THROUGH AND FEASIBILITY STUDY.** The Consultant will accompany the Client(s) (or the Client(s)'s agent and/or contractor) during a walk-through of the property, during which the property will be initially analyzed for compliance with the Fannie Mae HomeStyle Rehabilitation Mortgage Insurance Program. The Consultant will recommend repairs and modifications that, in the Consultant's opinion, will be necessary to comply with the HomeStyle program requirements. The Consultant will assist the Client(s) in determining if the project is feasible and in obtaining a contractor by providing a preliminary work write-up and contractor bid package that describes the proposed rehabilitation and identifies the line-item work and estimated cost of the project. The fee for the Preliminary Work Write-Up and contractor bid forms will be deducted from the fee for the Work Write-Up. The total fee will be charged at the time of this initial walk-through.

2. **WORK WRITE-UP AND DRAW REQUEST.** The Consultant will ensure that the Specifications of Repairs and the Draw Request Forms are properly prepared and delivered to the lender in accordance with set requirements and according to "time is of the essence" principles. The Client(s) and the Consultant are aware that, when a Contractor(s) has been awarded the bid, the architectural exhibits, the Specifications of Repairs, and the Draw Request Forms should be delivered to the lender within 15 calendar days from the award date of the bid. The Consultant shall assist the borrower by providing all required exhibits to the lender.

3. **INSPECTIONS.** The Consultant will track, monitor, and review all inspections performed on the property prior to closing. This includes, but is not limited to, mechanical inspections, engineering inspections, termite inspections, and local government inspections. The Client(s) guarantees that the Consultant will be the exclusive firm employed to perform Draw Inspections after the closing of the loan. The client(s) further agrees that they have been advised of their right to a home inspection to be performed by a consultant (or another employee of firm or sub-contractor) While not required for the purposes of the renovation mortgage, this inspection if desired should be completed according to the licensing requirements of the State of Illinois and/or the Standards of Practice of the Inter-National Association of Home Inspectors. This inspection may occur before, during, or after the consultation appointment.

4. **AGREEMENT DURATION.** The Consultant will perform all services described herein from the date of this agreement to the completion and disbursement of the final draw inspection. With the approval of the lender, this agreement can be terminated with the mutual consent of the parties.

5. **INDEMNIFICATION.** For work performed by the Consultant or contracted to third parties by the Consultant during this agreement or after its termination, the Client(s) agrees to indemnify, defend, and hold harmless the Consultant or his/her employees from all claims, actions, demands, damages, liability, and costs arising from any injuries or property damages related to the Consultant's work or the work of his/her agents or employees. The Consultant and their COMPANY shall not be held responsible for any additional work required after the initial inspection of the property. The COMPANY will assume no liability exceeding the invoiced amount in any case. Should additional repairs be required following the payment of the Work Write-Up fees, the Client(s) will be responsible for additional fees to report on these modifications, in addition to any required fees for modifications.

6. **CONSULTANT FEE.** A fee of five hundred dollars (\$500) is charged for the services of the Initial Walk-Through and Preliminary Work Write-Up described in this agreement. The release of the entire Consultant fee is due at or before the time of the appointment with the Consultant and Client(s). If the total repair cost is undetermined at the time of the onsite consultation, a 75% down payment of the estimated repair cost will be required, with the balance due prior to releasing the final Work Write-Up. The entire fee for the Work Write-Up Package will be due from the Client(s) prior to the release of the paperwork to the lender.

Once the Work Write-Up has been delivered, the Client(s) will be provided with 1 (one) revision to the scope of work at no extra cost. Any future revisions based on changes to the scope of work or cost of the repairs will require a payment of \$100, payable before the changes are completed. If the project is terminated prior to the completion of the Work Write-Up, the Consultant fee will be refunded less the \$500 for the onsite consultation. Once reports have been released to the borrower or lender for the Work Write-Up or other services, there will be no refund for fees paid. Fees paid to the Consultant are not contingent upon the successful completion of the purchase/closing of escrow on the subject property. The loan, if funded, may include financing of this Consultant fee. If financed, said fee will be credited to the Client(s) for the amount prepaid to the Consultant by the Client(s), with any balance due disbursed to the Consultant. Returned checks will incur an additional \$25 charge. Any unpaid balances are charged at the rate of 1.5% per month after 30 days of the loan closing. All collection costs shall be the responsibility of the Client(s). The Client(s) agrees to pay the Work Write-Up fee based on the total repair amount of the project prior to the delivery of this report.

The total fee for the Work Write-Up is as follows:

- \$1,000 for repairs less than or equal to \$50,000
- \$1,200 for repairs between \$50,001 and \$85,000
- \$1,400 for repairs between \$85,001 and \$140,000
- 1% of the repair costs for repairs over \$140,000

A discounted flat fee of \$3,000 has been applied for this project due to a prior home inspection conducted on the property. _____

Each draw inspection fee for completed work will be \$375. An additional fee of \$50 will be assessed on the total Work Write-Up cost and all draw inspection fees for each additional unit within the deeded property.

7. **PROPOSED CHANGES.** The Client(s) agrees to notify the Consultant of any proposed or discussed changes to the approved Work Write-Up, including those between the Contractor(s) and Client(s), for preapproval. Any changes not listed in the approved line items must be reviewed by the Consultant prior to submittal to the lender for approval.

8. **DEFAULT.** If the Client(s) fails to pay the monies due under this agreement, the Client(s) will pay the Consultant's costs to collect the monies due under this agreement, including (but not limited to) its reasonable attorney's fees, expert witness fees, and cost of suit.

9. **DISPUTE RESOLUTION.** The Client(s) agrees that any claim for negligence, breach of contract, or otherwise must be made in writing and reported to the Company within ten (10) business days of discovery. The Client(s) further agrees to allow the Company the opportunity to re-inspect the claimed discrepancy, except for emergency conditions, before the Client(s) or the Client(s)'s agents, employees, or independent contractor repairs, replaces, alters, or modifies the claimed discrepancy. The Client(s) understands and agrees that any failure to notify the Company as stated above shall constitute a waiver of all claims the Client(s) may have against the Company.

10. Any legal action must be brought within one (1) year from the date of the inspection. Failure to bring said action within one (1) year of the date of the inspection is a full and complete waiver of any rights, actions, or causes of action that may have arisen therefrom. Time is expressly of the essence herein. This time period may be shorter than otherwise provided by law. Any dispute, controversy, interpretation, or claim (including claims for, but not limited to, breach of contract, negligence, fraud, or misrepresentation) arising out of, from, or related to this contract, or arising out of, from, or related to the inspection or inspection report, shall be submitted to final and binding arbitration under the Rules and Procedures of the expedited Arbitration of Home Inspection Disputes of Construction Arbitration Services Inc. The decision of the Arbitrator appointed thereunder shall be final and binding, and judgment on the Award may be entered in any Court of competent jurisdiction.

11. **RELEASED INFORMATION.** The Client(s) understands and approves the release of all documentation relating to this agreement to other parties associated with the closing of escrow on the loan and/or rehabilitation of the property, and to all parties related to the funding aspect. The Client(s) grants permission to the Consultant to use photographs taken in connection with this consulting agreement in advertising and promotional material.

12. **CLIENT(S)'S ATTENDANCE.** The inspection service is conducted at the property. The physical on-site inspection of the property is a valuable time for the exchange of information between the Company and the Client(s). Any particular concern of the Client(s) must be brought to the attention of the Company before the inspection begins. The written report will not substitute for the Client(s)'s personal presence during the inspection. It is virtually impossible to fully profile any building with any reporting system. Unless the Client(s) attends and participates in the inspection process itself, the Client(s) will have no chance of gaining all the information that is offered. If the Client(s) does not attend the inspection, this Agreement becomes effective upon commencement of the inspection.

13. ADDITIONAL FEES AND PROVISIONS. Additional fees may be charged for the following services:

- Desired changes in the scope of work requiring new Specifications or Repairs at \$250 minimum
- Preparation of change orders at \$150 each minimum (to be paid from available contingency reserve funds or by Client(s) as needed)
- Any additional inspections that may become necessary at \$295 minimum
- Contractor Bid Meeting to introduce prospective contractors and Client(s) at the property; facilitating the bidding process at \$350

14. INTRODUCTION TO CONTRACTORS. The Consultant may provide, at the request of the Client(s), a list of qualified contractors who may be interested in bidding on the project. Any introductions that we facilitate between you and proposed contractor(s) is merely that – an introduction. It is not a recommendation, endorsement, or guarantee of quality or performance. You should also seek out contractors on your own. We always recommend you perform your own due diligence (reference checking, etc.) on any contractor you plan to hire. Please pursue your interviews and negotiations with contractor(s) using your own judgment. The Client(s) accepts the above disclaimer and agrees to hold harmless the Consultant, their staff, and offices for any actions of the contractor(s) retained. The contractors on the Consultant’s list have successfully completed one or more 203k renovation projects within the past 6 months. Different lenders have different validation criteria – a contractor who may be considered qualified and approved by one lender may fail to be accepted by another. As a consultant, it is neither our responsibility nor obligation to provide contractors for the Client(s)’ renovation project. We provide this introduction as a courtesy to help expedite your renovation project.

15. RECORDING OF SERVICES PERFORMED. CLIENT AGREES that all inspections, conversations, and interactions between the Client and Consultant and Company may be audio, photographic and/or video recorded. These recordings may be used by Consultant and/or Company for quality control, marketing, and training purposes. By signing this agreement, the Client provides consent to such recordings and acknowledges their potential use as outlined.

16. ONGOING EVALUATION AGREEMENT. The Client(s) agrees that this agreement will remain enforced for this and all future evaluations of this property for this borrower (including draw inspection services), and that the signature of one party binds all parties to this agreement.

17. BINDING ON HEIRS AND ASSIGNS. This agreement shall be binding on all heirs or assigns of said borrower and shall remain enforced for all inspections, evaluations, and/or service visits by the Consultant

I ACKNOWLEDGE AND CONFIRM MY ACCEPTANCE OF THIS AGREEMENT:



Borrower Signature Date


Borrower Signature Date



Consultant Signature Date

Fee Details

FEES PAID BY BORROWER

Fee Name	Fee Details	Total \$
Work Write Up/Consultant Fees	Total cost discounted for past customer Paid by Borrower	3000.00
TOTAL	Fee Grand Total	\$ 3,000.00

FEES INCLUDED IN ESCROW

Fee Name	Fee Details	Total \$
Draw Fees	6 Draws at 375.000	2,250.00
Mileage Fee	29 Miles at 0.670 * 6 trips	116.58
Work Write Up/Consultant Fees	Total cost discounted for past customer Paid by Borrower	3000.00
TOTAL	Fee Grand Total	\$ 5,366.58

Wayne John Lundberg

CONSULTANT SIGNATURE: _____

Date of Signature: 04-30-2025

Draw Request Section 203(k)

U.S. Department of Housing
and Urban Development
Office of Housing

OMB Approval No. 2502-0527 (exp. 8/31/2024)

Public reporting burden for this collection of information is estimated to average 1 hour per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This agency may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

This information collection involves an expanded information requirement for lenders that originate and service Section 203(k) mortgages. The purpose of the information is to help mitigate program abuses. The expanded information focuses on the loan origination process and requires increased documentation and strengthened internal control procedures. Periodic reporting of the information is not required. The information also includes information that was voluntarily accepted by the 203(k) lending community. The information provides a more comprehensive basis for evaluating lender underwriting practices and thereby improves risk management of the 203(k) loan portfolio. Responses are required to obtain benefits under Section 203(k) of the National Housing Act (12 U.S.C. 1703). No assurance of confidentiality is provided.

Borrower's Name & Property Address Suraj Prakash Meghna Sahay 1057 Elmwood, Deerfield, Illinois 60015	Lender's Name & Address Smooth Mortgage Company, LLC	FHA Case Number
		This Draw Number INITIAL
		Date

I certify that I have carefully inspected this property for compliance with the general acceptability requirements (including health and safety) in Handbook 4905.1. I have reviewed the attached architectural exhibits and the estimated rehabilitation costs listed in column 1, below; they are acceptable for the rehabilitation of this property. I have no personal interest, present or prospective, in the property, applicant, or proceeds of the mortgage. To the best of my knowledge, I have reported all items requiring correction and that the rehabilitation proposal now meets all HUD requirements for 203(k) Rehabilitation Mortgage Insurance.

HUD-Accepted Consultant / Plan Reviewer's Signature & Date	Suggested Contingency Reserve Amount
x Wayne John Lundberg Wayne John Lundberg 04-30-2025	\$ 35289.26 10 %

Construction Item	Total Escrow Col. 1	Total Cost of Rehabilitation Request for This Draw				Inspector/Lender Adjusted Amounts		
		Previous Draw Totals Col. 2	%	Col. 3	%	Col. 4	%	
1. Masonry	\$ 0.00							1.
2. Siding	\$ 39000.00							2.
3. Gutters/Downspouts	\$ 0.00							3.
4. Roof	\$ 11600.00							4.
5. Shutters	\$ 0.00							5.
6. Exteriors	\$ 5750.00							6.
7. Walks	\$ 8500.00							7.
8. Driveways	\$ 7500.00							8.
9. Painting (Ext.)	\$ 5500.00							9.
10. Caulking	\$ 0.00							10.
11. Fencing	\$ 1500.00							11.
12. Grading	\$ 4000.00							12.
13. Windows	\$ 27000.00							13.
14. Weatherstrip	\$ 0.00							14.
15. Doors (Ext.)	\$ 8000.00							15.
16. Doors (Int.)	\$ 16000.00							16.
17. Partition Wall	\$ 36000.00							17.
18. Plaster/Drywall	\$ 28500.00							18.
19. Decorating	\$ 10620.00							19.
20. Wood Trim	\$ 4594.12							20.
21. Stairs	\$ 4800.00							21.
22. Closets	\$ 4600.00							22.
23. Wood Floors	\$ 0.00							23.
24. Finished Floors	\$ 27500.00							24.
25. Ceramic Tile	\$ 0.00							25.
26. Bath Accesories	\$ 1000.00							26.
27. Plumbing	\$ 13450.00							27.
28. Electrical	\$ 16700.00							28.
29. Heating	\$ 26700.00							29.
30. Insulation	\$ 0.00							30.
31. Cabinetry	\$ 23723.50							31.
32. Appliances	\$ 4130.00							32.
33. Basements	\$ 8125.00							33.
34. Cleanup	\$ 1600.00							34.
35. Miscellaneous	\$ 6500.00							35.
36. Totals	\$ 352892.62							36.

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

This draw request is submitted for payment. All completed work has been done in a workmanlike manner. I hereby certify to the actual costs of rehabilitation as shown above in column 3. I understand that I cannot obtain additional monies from the rehabilitation escrow account without the approval of the lender. I also understand that a 10% holdback will not be released until all work is complete and it is determined that no mechanic's and materialmen's liens have been placed on the property. After the final inspection, the monies in the escrow account will be distributed as required by the 203(k) program procedures.

Borrower's Signature ☐ Owner-Occupant ☐ Investor/Builder X

Date

This draw request is submitted for payment. All completed work has been done in a workmanlike manner. I understand that a 10% holdback will not be released until all work is completed and it is determined that no mechanic's and materialmen's liens have been placed on the property.

General Contractor's Signature (if any) X

Date

I certify that I have carefully inspected this property on this date. The draw amounts are acceptable except as modified in column 4. I further certify that I have not accepted any work that is not yet completed in a workmanlike manner and I recommend that the rehabilitation escrow funds be released for the completed work.

Inspector's Signature X *Wayne John Lundberg*

I.D. Number **A1255**

Date **04-30-2025**

Approved for Release	This Draw	Totals to Date	The Lender is hereby authorized to release the following funds from the escrow account	
Total from Above	\$	\$	Payable to the Borrower \$	Payable to the Fee Inspector \$
Less 10% Holdback	\$	\$	Payable to	\$
Net Amount Due Borrower	\$	\$	Signature & Date ☐ Lender-Authorized Agent ☐ DE Underwriter X	

Lender Holding Rehabilitation Escrow Account (name, address, & phone number)

☐ Originating Lender still Retains Funds

☐ Rehab Funds Transferred to:

Rehabilitation Inspection Report

FHA Case Number

I. Inspection of On-Site Repairs and/or Improvements Reveals

- ☐ Unable to make inspection. (explain below)
- ☐ Correction essential as explained below:
 - ☐ Will examine at next inspection.
 - ☐ Do not conceal until reinspected.
- ☐ No noncompliance observed.
- ☐ Acceptable variations as described below.
- ☐ On-site improvements acceptably completed.

II. Explanation of statements checked above

☐ Draw Inspection ☐ Contingency Reserve Inspection ☐ Final Inspection ☐ Change Order ☐ Other (explain)

Inspection Number

No.		No.	

Certification: I certify that I have carefully inspected this property on this date. I have no personal interest, present or prospective, in the property, applicant, or proceeds of the mortgage. To the best of my knowledge I have reported all noncompliance, work requiring correction, and unacceptable work. I also certify that this Draw Request is for completed work and I have not accepted any work that is not properly installed in a workmanlike manner.

Signature & Date

☐ Consultant / Inspector
☐ Fee Inspector
☐ DE Staff Inspector

Inspection Fee

ID Number

X

Instructions: Prior To Appraisal

1. The Consultant or Plan Reviewer meets with the borrower (and contractor, if there is one) at the site to determine if cost estimates are acceptable. The cost of labor and materials (including overhead and profit, where necessary) must be shown. Borrowers doing their own work must include labor and material, in case they are unable to complete the work due to some unforeseen circumstance, and they must later subcontract out the work. Upon completion of the review, and if the cost estimates are acceptable, the Consultant or Plan Reviewer must sign the certification and return all exhibits to the lender.

2. Lender sends exhibits and a copy of the Draw Request form to the appraiser. The appraisal cannot be performed unless the Consultant or Plan Reviewer has signed the certification on the Draw Request form. Appraisers are instructed not to add additional work items to the list of construction items without the Consultant or Plan Reviewer assuring that the cost estimate for additional items are acceptable and included on the Draw Request form.

Instructions: During Construction:

1. If any construction work items were completed prior to closing the loan, an inspection of the work can occur one day after closing.

2. Borrower/contractor completes column 2 "Previous Draw Totals" with percent of completion on any of the construction items. On the first draw inspection, this column will be left blank. On subsequent draws, show the accepted amounts shown in columns 3 and 4 (from the previous draw).

3. Borrower/contractor completes column 3 "Request for This Draw" with the **actual cost of rehabilitation**, which includes materials, labor, overhead and profit. Materials cannot be paid for until they have been acceptably installed. For the investor/builder using the Escrow Commitment Procedure, the cost savings will be added to the escrow amount that is held by the lender for release when an acceptable owner-occupant assumes the loan.

The inspector will complete column 4 for each line item that is necessary to be adjusted. If no adjustments are required, column 4 will remain blank. In no case can the inspector approve a release of funds in excess of the amount requested by the borrower in column 3.

The DE Underwriter or the lender's authorized agent may reduce the amount of funds accepted (or revised) by the inspector by completing (or correcting) the amount shown in column 4. Where a correction has been made by the inspector or the lender, the revised total amount will be shown in line 36, column 4. When the DE Underwriter or the lender's authorized agent is satisfied with the Draw Request, the bottom of the form approving the release of funds will be completed.

After the final draw inspection, cost savings can be adjusted to pay for cost overruns in other construction items or additional improvements to the property that are approved by the Direct Endorsement (DE) Lender. An additional administration cost can be allowed under certain circumstances. Any remaining cost savings must be applied to the mortgage principal and will create greater equity in the property.

Example 1: If column 1 for Drywall is estimated for completion at \$1,500, and the work is 50% complete, but a signed contract is for \$1,200, then the Request for This Draw in column 3 cannot exceed \$600.

Example 2: If column 1 for Drywall is estimated for completion at \$1,500, and the work is 50% complete, but a signed contract is for \$1,800, then the Request for This Draw in column 3 cannot exceed \$750. At the end of rehabilitation, cost overruns can be adjusted for, provided there were savings in other construction items that were approved prior to closing.

4. The borrower and contractor must sign the certification on the Draw Request form. If a dispute exists, the lender must try to mediate the dispute to assure there are no mechanics or materialmen's liens placed on the property. The lender may make checks out in both the borrower and contractor's name to ensure proper distribution of escrowed funds and to assure no mechanics or materialmen's liens. The borrower or contractor may initiate legal proceedings if an equitable agreement cannot be reached.

5. Under no circumstances can any construction item be paid for without the work being acceptably installed (e.g., materials on site cannot be included in the draw request). Upon completion, the inspector signs the Draw Request form, and the Rehabilitation Inspection Report and returns this form to the DE Lender, if applicable. The cost of the inspection should also be completed.

6. The DE who controls the Rehabilitation Escrow Account must provide an accounting of the escrow account to the borrower and HUD, showing the status of all monies in the escrow account. After the acceptable receipt of all necessary documentation, the escrow release (less 10% holdback) should occur within 48 hours. The accounting system must comply with Handbook 4240.4.

Identity of Interest Certification Letter

Property Address: 1057 Elmwood, Deerfield, Illinois 60015

Borrower's Name: Suraj Prakash Meghna Sahay

FHA Loan No:

Lender Name: Smooth Mortgage Company, LLC

"I hereby certify that I have carefully inspected this property for compliance with the general acceptability requirements (including health and safety) in Handbook 4905.1. I have required as necessary and reviewed the architectural exhibits, including any applicable engineering and termite reports, and the estimated rehabilitation cost and they are acceptable for the rehabilitation of the property. I have no personal interest, present or prospective, in this property, applicant or proceeds of the mortgage. I also certify that I have no identity-of-interest or conflict-of interest with the borrower, seller, lender, realtor, appraiser, plan reviewer, contractor or subcontractor. To the best of my knowledge, I have reported all items requiring correction and that the rehabilitation proposal now meets all HUD requirements for Rehabilitation Mortgage Insurance."

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties.

(18 U.S.C. 1001, 1010, 1012; 31 U.S.C 3729, 3802).

Wayne John Lundberg
Consultants Signature: _____

Date: 04-30-2025

Consultants Name(Printed) : Wayne John Lundberg

Consultant ID#: A1255

Renovation/Construction Project Bid Submitted by: 11 North Inc
Client: Suraj Prakash & Meghna Sahay Address: 1057 Elmwood , Deerfield Illinois 60015

11 North Inc
 Andrew Fishman
 11 N Northwest Highway #116 Park Ridge Illinois 60068
 Phone:()
 Email: andrew@11northinc.com

The following proposal is submitted for acceptance for the renovation/rehab of the below project. We have reviewed the scope of work for the renovation of the dwelling/s and have coordinated with interested parties to generate the bid as shown.

We are open to discussion on any of the line items and welcome feedback from any interested party. We may be reached at the above contact numbers/email address.

If there are no adjustments requested, please sign and return this bid as your acceptance of our proposal..

Inspection Date: 02/08/2025

<u>Applicant:</u>	<u>Property Address:</u>	<u>Lender:</u>
Suraj Prakash & Meghna Sahay (847) 530-3506	1057 Elmwood, Deerfield, Illinois, 60015	Smooth Mortgage Company, LLC

Construction Categories, Items & Costs (Construction Cost Estimate)

				Material:	Labor:	Tax:	Total:			
2. Siding				\$24500.00	\$14500.00	\$0.00	\$39000.00			
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total	
1 Permit(s) For All Construction .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Permits for all construction (Extact rate to follow) General Building Permit	R	LS	1	10000.00	LS	0	0.00	\$ 0.00	10000.00	
2 Install New Siding .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Install siding as per below	D	LS	1	14500.00	LS	1	14500.00	\$ 0.00	29000.00	
2. Siding Totals:				24500.00			14500.00	0.00	39000.00	

Category Details

Contractor to provide and install all siding system components—including exterior wall cladding, siding materials, and additional exterior finishes —per the architectural drawings (A3.1, A3.2) and in compliance with applicable local building codes. Siding details provided by borrower to be considered part of this agreement. Borrower specifications for siding: LP Expert Finish vertical siding with Trim in Abyss Black for the front of the house. • CertainTeed Board and Batten Vertical Vinyl Siding for the other sides of the property, • Exterior Wall Cladding (Brick/Stone Veneer): Install per A2.0 specifications • 5" Vertical Vinyl Siding: Install per A3.1 specifications • EIFS System: Install per A3.2 specifications • Prefinished Aluminum Fascia Enclosure: Install per A3.1 specifications • PVC Soffit Panel System: Install per A3.2 specifications Scope: This estimate covers the supply and installation of all siding system components —including the exterior wall cladding (brick/stone veneer), 5" vertical vinyl siding, EIFS system, prefinished aluminum fascia enclosure, and PVC soffit panel system—as specified in the architectural drawings (A3.1, A3.2, and the cladding details from A2.0) and in compliance with applicable local building codes. Cost to include dumpster rental fees as needed.

				Material:	Labor:	Tax:	Total:			
4. Roof				\$5900.00	\$5700.00	\$0.00	\$11600.00			
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total	

Renovation/Construction Project Bid Submitted by: 11 North Inc

Client: Suraj Prakash & Meghna Sahay Address: 1057 Elmwood , Deerfield Illinois 60015

1	Install new roof	D	LS	1	5900.00	LS	1	5700.00	\$ 0.00	11600.00
..	Location: All Areas									
	Repairer: Contractor									
..	Repair Notes: Contractor to provide and install roofing as per below.									

	4. Roof Totals:			5900.00				5700.00	0.00	11600.00
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Category Details

Contractor to provide and install all roofing system components per the architectural plans and in compliance with all applicable local building codes. Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount estimated for permits (\$500) Roofing Materials & Installation: Roofing details provided by borrower to be considered part of this agreement. • Asphalt Shingles -CertainTeed Landmark Pro. Install per A1.5 specifications. • EPDM Single-Ply Roof Membrane - Install per A1.5 specifications. Roof Sheathing: • 3/4" Plywood - Install per specifications. Roof Drainage & Flashing: • Prefinished Aluminum Gutter & Downspout System - Matte Black. Install per specifications. • Prefinished Aluminum Fascia Enclosure - Matte Black. Install per specifications. • Flashing at Roof Openings & Curbs - Install per S2.0 specifications. Structural Components & Support: • Roof Framing Adjustments for Openings >12" x 12" - Install per S1.2 specifications. • Roof Curb Fabrication & Installation - Install per S1.2 specifications. Scope: This estimate covers the supply and installation of all roofing materials and components— including roofing materials and installation (asphalt shingles and EPDM membrane), roof sheathing (3/4" plywood), roof drainage and flashing (aluminum gutter & downspout system, aluminum fascia enclosure, and flashing at roof openings and curbs), and structural components (roof framing adjustments for openings and roof curb fabrication and installation)— as specified in the architectural drawings (A1.5, S1.2, S2.0) and in compliance with all applicable local building codes. Cost to include dumpster rental fees as needed.

6. Exteriors					Material:	Labor:	Tax:	Total:	
					\$2750.00	\$3000.00	\$0.00	\$5750.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Exterior System Components & Site Work	D	LS	1	2750.00	LS	1	3000.00	\$ 0.00	5750.00
..	Location: Exterior									
	Repairer: Contractor									
..	Repair Notes: Contractor to provide and install exterior envelope components per as below.									

	6. Exteriors Totals:			2750.00				3000.00	0.00	5750.00
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Category Details

Contractor to provide and install all exterior envelope components—specifically the weather barrier & insulation system and exterior trim & moldings— per the architectural drawings (A2.1, A3.0) and in compliance with applicable local building codes. Weather Barrier & Insulation System: - Apply house wrap and R-19 insulation per A2.1 specifications Exterior Trim & Moldings: - Install per A3.0 specification Scope: This estimate covers the supply and installation of the weather barrier and insulation system (house wrap and R-19 insulation) and the exterior trim & moldings as specified in the architectural drawings (A2.1 and A3.0) and in compliance with applicable local building codes. Cost to include dumpster rental fees as needed.

7. Walks					Material:	Labor:	Tax:	Total:	
					\$4000.00	\$4500.00	\$0.00	\$8500.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Install Concrete Walkways/Stairs With Handrails	D	LS	1	4000.00	LS	1	4500.00	\$ 0.00	8500.00
..	Location: Front Entrance									
	Repairer: Contractor									
..	Repair Notes: contractor to provide and install new concrete walkway and stairs as per below.									

	7. Walks Totals:			4000.00				4500.00	0.00	8500.00
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Category Details

Contractor to provide and install all entry apron and front entrance stair components with handrails per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes. Walkway & Stair Components: • Concrete Walkway Construction - Construct per AS1.0 specifications • Front Entrance Stairs (Concrete) - Construct per AS1.0 specifications • Handrails -

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Install per AS1.0 specifications Scope: This estimate covers the supply and installation of all apron, and front entrance stair components—including concrete walkway construction, front entrance concrete stairs, and the installation of handrails—as detailed in the architectural drawings (AS1.0) and in compliance with applicable local building codes.

8. Driveways				Material:	Labor:	Tax:	Total:		
				\$3500.00	\$4000.00	\$0.00	\$7500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Concrete Driveway .. Location: Exterior Front Repairer: Contractor .. Repair Notes: Contractor to provide and install new concrete driveway per as below.	D	LS	1	3500.00	LS	1	4000.00	\$ 0.00	7500.00
8. Driveways Totals:				3500.00			4000.00	0.00	7500.00

Category Details

Contractor to provide and install all driveway paving components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes. Driveway Paving Components: • Driveway Paving (To Curb) - Install per AS1.0 specifications for approximately 903 SF • On-Site Driveway Paving - Install per AS1.0 specifications for approximately 546 SF Scope: This estimate covers the supply and installation of all driveway paving components—including paving to the curb and on-site paving—as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

9. Painting (Ext.)				Material:	Labor:	Tax:	Total:		
				\$1500.00	\$4000.00	\$0.00	\$5500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Paint .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install new paint as per below.	D	EA	1	1500.00	EA	1	4000.00	\$ 0.00	5500.00
9. Painting (Ext.) Totals:				1500.00			4000.00	0.00	5500.00

Category Details

Contractor to provide and install all exterior painting components per the architectural plans (A2.0, A2.1, A3.0) and municipal code. All work will comply with applicable local building codes. Surface Preparation & Cleaning: • Clean, power wash, scrape, and prime surfaces Painting of Exterior Wall Cladding: • Apply primer and two coats per A2.0 specifications Painting of EIFS System: • Apply primer and topcoat per A3.1, A3.2 specifications Painting of Exterior Trim & Moldings: • Paint per A3.0 specifications Scope: This estimate includes all required surface preparation and painting of exterior wall cladding, EIFS areas, and exterior trim & moldings as specified in the architectural plans (A2.0, A2.1, A3.0) and in compliance with applicable local building codes.

11. Fencing				Material:	Labor:	Tax:	Total:		
				\$0.00	\$1500.00	\$0.00	\$1500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install new fencing. .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install new fencing as per below.	D	LS	0	0.00	EA	1	1500.00	\$ 0.00	1500.00
11. Fencing Totals:				0.00			1500.00	0.00	1500.00

Category Details

Contractor to provide and install all fencing system components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes. Fencing System Components: • 6' Chain Link Fence with Weighted Legs - Install

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per AS1.0 specifications for the designated area - • 10' Swing Gate with Lock and Temporary Mailbox - Install per AS1.0 specifications
 Scope: This estimate covers the installation of the 6' chain link fence with weighted legs and the 10' swing gate with lock and temporary mailbox as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

12. Grading/Landscaping					Material:	Labor:	Tax:	Total:	
					\$2000.00	\$2000.00	\$0.00	\$4000.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Exterior Site Work & Landscaping .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install landscaping per as below.	D	LS	1	2000.00	LS	1	2000.00	\$ 0.00	4000.00
12. Grading/Landscaping Totals:				2000.00			2000.00	0.00	4000.00

Category Details

Contractor to provide and install all grading and landscape components per the architectural plans (AS1.0) and municipal code, and in compliance with all applicable local building codes. Grading & Landscape Components: • Site Clearing & Grading - Clear and remove debris, then perform rough grading and final contouring per AS1.0 specifications • Erosion & Sediment Control Measures - Install silt fences, sediment basins, and other measures per AS1.0 specifications • Soil Preparation & Topsoil Installation - Prepare planting beds and distribute quality topsoil per landscape design • Sod Installation - Install sod over designated areas as specified • Planting of Trees, Shrubs & Groundcover - Supply and install trees, shrubs, and groundcover per design • Irrigation System Installation - Provide and install drip or sprinkler system per landscape design • Mulch & Hardscape Elements - Install mulch and incorporate designated hardscape details TScope: This estimate covers the supply and installation of all grading and landscape components—including site clearing, rough grading, final contouring, erosion and sediment control measures, and landscape installation (soil preparation, topsoil, sod, plantings, irrigation, mulch, and hardscape elements)—as specified in the architectural plans (AS1.0) and in compliance with applicable local building codes.

13. Windows				Material:	Labor:	Tax:	Total:		
				\$17000.00	\$10000.00	\$0.00	\$27000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install new windows .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to remove existing (as required) provide and install new windows at all areas as per below.	D	LS	1	17000.00	LS	1	10000.00	\$ 0.00	27000.00
13. Windows Totals:				17000.00			10000.00	0.00	27000.00

Category Details

Contractor to provide and install all window system components per the architectural plans (A2.0, A3.0, A7.0), Fixture, Finish & System Specifications sheet. All work will comply with applicable local building codes. Window System Components: • Fixed Picture Windows - Install fixed picture windows with no grid, featuring clear 1" insulated glazing (1/4" heat-treated + 1/2" air + 1/4" heat-treated) and a black coated finish. • Casement Window System - Install casement windows with no grid, featuring clear 1" insulated glazing (1/4" heat-treated + 1/2" air + 1/4" heat-treated) and a black coated finish. • Awning Windows - Install awning windows with clear insulated glazing and tempered glass where required. Additional Window Components: • 7/8" Brick Moulding - Install with the return removed for a trimless window installation. • Flashing & Sealing - Seal all windows with water-resistant flashing and caulk per manufacturer specifications. Scope: This estimate covers the supply and installation of all window system components—including fixed picture windows, casement windows, and awning windows, along with additional components such as 7/8" brick moulding, flashing, and sealing—as specified in the architectural plans (A2.0, A3.0, A7.0) and Fixture, Finish & System Specifications sheet. All work will be in compliance with applicable local building codes. The homeowner has specifically requested vinyl-clad windows for this installation.

15. Doors (Ext.)					Material:	Labor:	Tax:	Total:	
					\$5000.00	\$3000.00	\$0.00	\$8000.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

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1	Remove and replace old with new doors	D	LS	1	5000.00	LS	1	3000.00	\$ 0.00	8000.00
..	Location: Exterior									
	Repairer: Contractor									
..	Repair Notes: Contractor to remove existing (as required) provide and install new exterior doors at all areas as per below.									

	15. Doors (Ext.) Totals:		5000.00			3000.00	0.00	8000.00	
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Category Details

Contractor to provide and install all exterior door system components per the architectural plans (A7.0) and Fixture, Finish & System Specification sheet, and in compliance with all applicable local building codes. Exterior Door System Components: • Front Entrance Door – Install a prehung insulated entry door with matching hardware per A7.0 specifications • Rear Sliding Patio Door – Install a sliding glass door system with insulated glazing per A7.0 specifications • Garage Overhead Door – Install an insulated, sectional overhead door per A7.0 specifications Scope: This estimate covers the supply and installation of all exterior door system components—including the front entrance door, rear sliding patio door, and garage overhead door—as specified in the architectural plans (A7.0) and Fixture, Finish & System Specifications sheet, and in compliance with applicable local building codes.

16. Doors (Int.)					Material:	Labor:	Tax:	Total:	
					\$8000.00	\$8000.00	\$0.00	\$16000.00	
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Interior Doors	D	LS	1	8000.00	LS	1	8000.00	\$ 0.00	16000.00
.. Location: All Areas									
Repairer: Contractor									
.. Repair Notes: Contractor to provide and install new interior doors as per below.									
16. Doors (Int.) Totals:				8000.00			8000.00	0.00	16000.00

Category Details

Contractor to provide and install all interior door system components per the architectural plans (A7.0) and municipal code; Fixture, Finish & System Specifications, and in compliance with all applicable local building codes. Interior Door Components: • Prehung 1-Panel Flat Shaker Primed Solid Wood Doors – Install per manufacturer's specifications • Prehung 1-Panel Shaker Bi-Fold Doors – Install per manufacturer's specifications • Prehung 1-Panel Flat Shaker Primed Solid Wood Pocket Doors – Install per manufacturer's specifications • Garage Service Door – Masonite Prehung Steel 90-Min Fire Rated Insulated Door (Model #17895 or Approved Equal) Interior Door Hardware: • Kwikset Pismo Round Matte Black Bed/Bath Door Knob with Lock • Kwikset Pismo Round Matte Black Hall/Closet Door Knob • Kwikset Pismo Round Matte Black Dummy Door Knob • Everbilt 3-1/2 in. x 1/4 in. Radius Matte Black Squeak-Free Door Hinges (3-Pack) Scope: This estimate covers the supply and installation of all interior door system components—including prehung interior doors in various configurations (flat shaker, bi-fold, and pocket doors) and the corresponding door hardware—as specified in the architectural plans (A7.0) and Fixture, Finish & System Specifications, and in compliance with applicable local building codes.

17. Partition Wall				Material:	Labor:	Tax:	Total:		
				\$16000.00	\$20000.00	\$0.00	\$36000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Framing of new walls and partitions (Do not include drywall cost).	D	LS	1	16000.00	EA	1	20000.00	\$ 0.00	36000.00
.. Location: All Areas									
Repairer: Contractor									
.. Repair Notes: Contarctor to provide and install walls per as below.									
17. Partition Wall Totals:				16000.00			20000.00	0.00	36000.00

Category Details

Contractor to provide and install all wall and floor framing components—including interior partition walls, exterior wall framing, load-bearing walls, and floor framing elements—per the architectural plans (A1.0, A1.1, A7.0) and municipal code. All work shall comply with applicable local building codes. Interior Partition Walls – Wood Stud Framing (3 1/2" Kiln-Dried, 16" O.C.): • Install interior

partition walls as specified in the drawings. Primary Structural Framing – 1st Floor Framing (Load-Bearing Walls, Beams, Columns, & Floor Framing): • Install load-bearing walls, beams, columns, and integrated floor framing components for the 1st floor as specified in the drawings. Primary Structural Framing – 2nd Floor Framing (Load-Bearing Walls, Beams, Columns, & Floor Framing): • Install load-bearing walls, beams, columns, and integrated floor framing components for the 2nd floor as specified in the drawings. Primary Structural Framing – Garage Wall Framing: • Install load-bearing garage wall framing as specified in the drawings. Scope: This estimate covers the provision and installation of all wall and floor framing components as specified in the architectural drawings. It includes interior partition walls with wood stud framing, as well as primary structural framing for all walls—including exterior and load-bearing walls—and flooring components for the 1st floor, 2nd floor, and garage. All work will be executed in accordance with the drawings, manufacturer's specifications, and applicable local building codes.

18. Plaster/Drywall				Material:	Labor:	Tax:	Total:		
				\$6500.00	\$22000.00	\$0.00	\$28500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Drywall .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install drywall per as below.	D	LS	1	6500.00	LS	1	22000.00	\$ 0.00	28500.00
18. Plaster/Drywall Totals:				6500.00			22000.00	0.00	28500.00

Category Details

Contractor to provide and install all drywall system components—including supply, installation, and finishing (tape, mud, and sanding)—per the architectural plans (A1.6) and Fixture, Finish & System Specifications, and in compliance with all applicable local building codes. Drywall System Components: • 5/8" Type X Gypsum Board – Supply and install as specified on A1.6 and per Fixture, Finish & System Specifications • Taping, Mudding, and Sanding – Apply tape, mud, and sand all drywall joints and seams to achieve a smooth, paint-ready finish as detailed on A1.6 and in the Fixture, Finish & System Specifications Scope: This estimate covers the supply, installation, and finishing of all drywall system components—including the 5/8" Type X gypsum board and the complete taping, mudding, and sanding of all joints—as specified in the architectural plans (A1.6) and Fixture, Finish & System Specifications, and in compliance with applicable local building codes.

19. Decorating				Material:	Labor:	Tax:	Total:		
				\$2620.00	\$8000.00	\$0.00	\$10620.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Paint interior trim, walls, and ceilings .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install interior prep and paint per below.	D	LS	1	2620.00	LS	1	8000.00	\$ 0.00	10620.00
19. Decorating Totals:				2620.00			8000.00	0.00	10620.00

Category Details

Contractor to provide and install all interior painting components per the architectural drawings (A1.0, A1.7) and Fixture, Finish & System Specifications sheet; all work shall comply with municipal code and applicable local building codes. Interior Painting Components: • Surface Preparation & Cleaning – Clean, repair, patch, and prime all interior drywall surfaces as detailed on A1.0 and per Fixture, Finish & System Specifications • Wall & Ceiling Painting – Apply primer and two coats of high-performance finish paint to all walls and ceilings per A1.0 specifications and manufacturer recommendations • Trim Painting – Paint all interior trim—including door casings, baseboards, and window frames—as specified on A1.7 Scope: This estimate covers the provision and installation of all interior painting components—including surface preparation, wall and ceiling painting, and trim painting—as specified in the architectural drawings (A1.0, A1.7) and Fixture, Finish & System Specifications sheet, and in compliance with municipal code and applicable local building codes.

20. Wood Trim				Material:	Labor:	Tax:	Total:		
				\$2116.12	\$2478.00	\$0.00	\$4594.12		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total

1	Install Wood Trim	D	LS	1	2116.12	LS	1	2478.00	\$ 0.00	4594.12
.. Location: All Areas										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install wood trim as per below.										

20. Wood Trim Totals:					2116.12			2478.00	0.00	4594.12
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Category Details

Contractor to provide and install all wood trim components per the interior finish drawings and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Wood Trim Components: • Baseboards – Install pre-finished wood baseboards along all designated interior walls as specified • Door & Window Casings – Install custom wood casings around all interior doors and windows per design details • Crown Molding – Install crown molding in designated areas to complete the interior finish per specifications Scope: This estimate covers the provision and installation of all wood trim components—including baseboards, door & window casings, and crown molding—as specified in the interior finish drawings and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

21. Stairs					<i>Material:</i> \$1800.00	<i>Labor:</i> \$3000.00	<i>Tax:</i> \$0.00	<i>Total:</i> \$4800.00
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Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
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1	Install New Stairs	D	LS	1	1800.00	LS	1	3000.00	\$ 0.00	4800.00
.. Location: All Areas										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install stairs as per below.										

21. Stairs Totals:					1800.00			3000.00	0.00	4800.00
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Category Details

Contractor to provide and install all interior stair components per the architectural drawings (A1.6, A1.7) and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Interior Stair Components: • Stair Stringers & Framing: Supply and install the structural stringers and framing components for the stair assembly as specified treads and risers per the drawings • Handrail System (Including Newel Posts & Balusters): Install a secure handrail system with all associated hardware, newel posts, and balusters per design details • Finishing & Detailing: Sand, prime, and complete final detailing to ensure a smooth, finished surface on all stair components per manufacturer recommendations Scope: This estimate covers the supply and installation of all interior stair components—including stair stringers and framing, treads and risers, a handrail system with newel posts and balusters, and final finishing and detailing—as specified in the architectural drawings (A8.0, A8.1) and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

22. Closets					<i>Material:</i> \$1200.00	<i>Labor:</i> \$3400.00	<i>Tax:</i> \$0.00	<i>Total:</i> \$4600.00
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Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
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1	Install Closet Components	D	LS	1	1200.00	LS	1	3400.00	\$ 0.00	4600.00
.. Location: All Areas										
Repairer: Contractor										
.. Repair Notes: Contractor to provide and install all closet components per the details below.										

22. Closets Totals:					1200.00			3400.00	0.00	4600.00
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Category Details

Contractor to provide and install all closet components per the interior finish drawings and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Closet Components: • Custom Closet Cabinetry & Shelving: – Supply and install custom closet cabinetry, shelving, and drawer units as specified • Closet Hanging System: – Install closet hanging rods and accessories as specified • Closet Lighting: – Provide and install an integrated closet lighting system as specified • Hardware & Finishing: – Supply and install all closet hardware (handles, drawer pulls, etc.) as specified Scope: This estimate covers the supply and installation of all closet components—including custom cabinetry, shelving, closet hanging systems, integrated lighting, and associated hardware—as specified in the interior finish drawings and Fixture, Finish & Specifications Sheet, and in compliance with municipal code and applicable local building codes.

24. Finished Floors				Material:	Labor:	Tax:	Total:		
				\$9000.00	\$18500.00	\$0.00	\$27500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install New Flooring .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install the flooring as per below.	D	LS	1	9000.00	LS	1	18500.00	\$ 0.00	27500.00
24. Finished Floors Totals:				9000.00			18500.00	0.00	27500.00

Category Details

Contractor to provide and install all finished floor components per the architectural drawings (G0.0) and Finish, Fixture, & Specifications sheet. All work shall comply with applicable local building codes. Finished Floor Components: • LVP Flooring Installation – Install prefinished luxury vinyl plank flooring in designated living areas and bedrooms as specified • Marble Flooring Installation – Install marble flooring in the powder room, pantry, mudroom, and bathrooms as specified Scope: This estimate covers the provision and installation of all finished floor components as specified in the architectural drawings and in compliance with applicable local building codes. It includes the installation of LVP flooring in designated living areas and bedrooms, and marble flooring in the powder room, pantry, mudroom, and bathrooms, all executed in accordance with manufacturer's specifications.

26. Bath Accessories				Material:	Labor:	Tax:	Total:		
				\$500.00	\$500.00	\$0.00	\$1000.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Bathroom Accessories .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install as per below.	D	LS	1	500.00	LS	1	500.00	\$ 0.00	1000.00
26. Bath Accessories Totals:				500.00			500.00	0.00	1000.00

Category Details

Contractor to provide and install all bathroom accessories as part of the project scope. All work shall comply with municipal code, applicable local building codes, and manufacturer's specifications. Placement of accessories will be determined during the installation phase in consultation with the homeowner or consultant. Line Items: • Vanity Mirror & Medicine Cabinet: Provide and install a custom vanity mirror with integrated medicine cabinet per specifications – \$X. • Towel Bars & Robe Hooks: Install towel bars and robe hooks at locations designated by the homeowner or consultant – \$X. • Toilet Paper Holder & Shelving: Provide and install a toilet paper holder and wall-mounted shelving for accessories – \$X. • Additional Accessories: Install additional items (e.g., soap dishes, paper dispensers, etc.) as directed by the homeowner or consultant – \$X. Scope of Work: This estimate includes the provision and installation of all bathroom accessories as part of the project scope. The work includes: • Installation of a custom vanity mirror with integrated medicine cabinet. • Installation of towel bars and robe hooks at designated locations. • Provision and installation of a toilet paper holder and wall-mounted shelving. • Installation of additional accessories (e.g., soap dishes, paper dispensers, etc.) as specified. All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes. Placement of accessories will be finalized during the installation phase to ensure homeowner satisfaction.

27. Plumbing				Material:	Labor:	Tax:	Total:		
				\$5850.00	\$7600.00	\$0.00	\$13450.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Plumbing System .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install complete plumbing system.	D	LS	1	5000.00	LS	1	7000.00	\$ 0.00	12000.00

Renovation/Construction Project Bid Submitted by: 11 North Inc
Client: Suraj Prakash & Meghna Sahay Address: 1057 Elmwood , Deerfield Illinois 60015

2	Install Battery Backup & High Water Alarm .. Location: Basement Repairer: Contractor .. <i>Repair Notes:</i> Install High water alarm and battery back up system to sump pump per home inspection report.	R	LS	1	850.00	LS	1	600.00	\$ 0.00	1450.00
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27. Plumbing Totals:	5850.00	7600.00	0.00	13450.00
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Category Details

Contractor to provide and install all plumbing system components per the architectural drawings (P1.0, P1.2) and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount estimated for permits \$350) Bathroom Plumbing (All Bathrooms): • Install all bathroom fixtures as specified: o Toilets: Kohler Highline K-3519-T White, 1.6 GPF o Lavatory Sinks: Per specifications (TBD in drawings) o Faucets: Per specifications (TBD in drawings) o Showerheads and Controls: Per specifications (TBD in drawings) o Bathtubs: American Standard 2391RH.020 White • Install all water supply and drainage lines per P1.0 and P1.2. • Provide and install all required shutoff valves and supply connections. Kitchen & Laundry Plumbing: • Install kitchen plumbing components: o Kitchen Sink & Faucet: Per specifications o Garbage Disposal: Insinkerator Badger 5 or Approved Equal o Dishwasher Connection: Includes shutoff valve and drain line • Install laundry plumbing: o Washing Machine Hookup: Provide hot and cold water lines, shutoff valves, and drain connection. Basement & Garage Plumbing: • Install the following plumbing components: o Floor Drain: As specified in plumbing plans o Sump Pump: Zoeller M53 Mighty-Mate or Approved Equal o Water Heater: Reuse existing unit per project specifications Water Supply & Drainage System: • Install whole-house water supply piping: o Copper Type L (above grade), Type K (below grade) • Install all drain/waste/vent piping: o PVC Schedule 40 • Provide a new water main supply service as specified. Recommended by Consultant: • Sump Pump Battery Backup: Install a battery backup system for 2 sump pumps. • Sump Pump High Water Alarm: Install one high water alarm for critical water levels (one is already present). • Sensor Adjustment: Note that specified sensors are not suitable for use with high water alarm systems. They are designed to detect water overflow from sump pump pits, not monitor high water levels within the pits. Scope: This estimate covers the provision and installation of all plumbing system components as specified in the architectural drawings (P1.0, P1.2) and Fixture, Finish & Specifications Sheet. It includes bathroom fixtures, kitchen and laundry plumbing, basement and garage plumbing, the complete water supply and drainage system, and the recommended sump pump battery backup and high water alarm. All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

28. Electrical	Material: \$5550.00	Labor: \$11150.00	Tax: \$0.00	Total: \$16700.00
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Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Electrical System .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> IContractor to provide and install complete electrical system per as below.	D	LS	1	5500.00	LS	1	11000.00	\$ 0.00	16500.00
2 Install Dishwasher Disconnect Switch .. Location: Kitchen Repairer: Contractor .. <i>Repair Notes:</i> Install dishwasher disconnect switch as per below.	R	LS	1	50.00	LS	1	150.00	\$ 0.00	200.00

28. Electrical Totals:	5550.00	11150.00	0.00	16700.00
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Category Details

Contractor to provide and install all electrical system components per the architectural plans (E1.0, E1.1) and Fixture, Finish & System Specifications sheet; all work shall comply with municipal code and applicable local building codes. Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount estimated for permits \$500) Electrical System Components: • 200-Amp Main Electrical Service Panel & Wiring - Install a 200-Amp main service panel (including breakers and wiring) • Branch Circuit Wiring for Receptacles, Switches & Fixtures - Run wiring using standard NM cable in dry locations and MC cable in wet/exposed areas throughout the building • Grounding System - Provide and install a complete grounding system (bonding to water line and ground rod) • Receptacles, Switches & Fixtures - Install standard duplex receptacles (tamper resistant), GFCI outlets, AFCI protection, and specified switches-s per the Fixture, Finish & System Specifications • Lighting Fixtures & Installation - Install 6" recessed LED downlights, 4" recessed LED downlights, pendant and wall-mounted fixtures, and exterior wall-mount LED fixtures • Low Voltage & Special Systems - Install CAT6 data wiring, hardwired smoke and carbon monoxide detectors, and a doorbell/intercom system • Driveway Integrated Electrical Components - Install driveway accent LED lighting fixtures and the associated lighting control module • Dishwasher disconnect within appliance view per consultant recommendation. Scope: This estimate covers the provision and installation of all electrical system components as specified in the architectural plans (E1.0, E1.1) and Fixture, Finish & System Specifications sheet; it includes the installation of the 200-Amp main service panel and associated wiring, branch circuit wiring for receptacles, switches, and fixtures, a complete grounding system, the specified receptacles, switches and fixtures, lighting fixtures and their installation, low voltage systems, and driveway integrated electrical components—all executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

29. Heating				Material:	Labor:	Tax:	Total:		
				\$16700.00	\$10000.00	\$0.00	\$26700.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Heating and Cooling .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to provide and install heating and cooling sytem per as below.	D	LS	1	13600.00	LS	1	10000.00	\$ 0.00	23600.00
2 Provide and install fireplace .. Location: Family Room Repairer: Contractor .. Repair Notes: Contractor to provide and install fireplace as per architectural plans and as per below for a complete job.	D	EA	1	3100.00	EA	0	0.00	\$ 0.00	3100.00
29. Heating Totals:				16700.00			10000.00	0.00	26700.00

Category Details

Contractor to provide and install all HVAC system components per the architectural drawings (M1.0, M1.1); all work shall comply with municipal code and applicable local building codes. Cost to include all required permit and municipal inspection fees. Permits required prior to first draw. Certification of satisfactory completion required prior to final disbursement on category. Amount. estimated for permits \$500) Heating System: \$750 labor cost for fireplace installation included in material/lump sum number as per contractor. Details provided by borrower to be considered part of this agreement. • Furnace - Install Goodman GM9S960403AN, 40K BTU, 96% AFUE Multi-Speed. • Exhaust Flue Installation - Install per manufacturer's recommendations • Fireplace in family room - Empire Tahoe Deluxe 36 Clean Face Direct Vent Gas Fireplace (Model # DVCD36FP) Cooling System: • Air Conditioning Unit - Install Goodman GSXN401810, 1.5 Ton, 14.3 SEER2, R-410A Refrigerant. • Cased Coil - Install Goodman CAPF1824B6, 17.5-inch. Ventilation System: • Ductwork - Install galvanized 24GA insulated ductwork per SMACNA standards. • Return Air Grilles - Install Everbilt Fixed Return Grille (White). • Supply Air Registers - Install Everbilt 2-Way Register with Damper (White). • Humidification System - Provide ½" cold water line connection. • Exhaust Vent Through Roof - Install including flashing and rain shield. Control & Exhaust Systems: • Smart Thermostat - Install Ecobee with Sensor. • Exhaust Fans - Install Utilitech 100 CFM Ceiling Mount (Model 7115-03). • Balancing Dampers - Install for each diffuser/register/grille. Scope: This estimate covers the provision and installation of all HVAC system components as specified in the architectural drawings (M1.0, M1.1); it includes the installation of the heating system (furnace and exhaust flue), cooling system (air conditioning unit and cased coil), ventilation system (ductwork, return grilles, supply registers, humidification system, and roof exhaust vent), and control & exhaust systems (smart thermostat, exhaust fans, and balancing dampers), all executed in accordance with manufacturer's recommendations, municipal code, and applicable local building codes.

31. Cabinetry				Material:	Labor:	Tax:	Total:		
				\$16923.50	\$6800.00	\$0.00	\$23723.50		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Cabinets & Countertops .. Location: Kitchen Repairer: Contractor .. Repair Notes: Contractor to provide and install cabinets and countertops per as below.	D	LS	1	16923.50	LS	1	6800.00	\$ 0.00	23723.50
31. Cabinetry Totals:				16923.50			6800.00	0.00	23723.50

Category Details

Contractor to provide and install all kitchen, bath, and powder room cabinetry and countertop components per the architectural plans (A4.0), Interior Finish, Fixture & Specifications Sheet, and Cabinet Packet; all work shall comply with municipal code and applicable local building codes. Note that the homeowner's current sink base will be reused for the kitchen, and the current kitchen cabinetry will be reused for the pantry. These items are not to be included in the estimate. Kitchen Cabinetry • Kitchen Island Base Cabinets - Supply and install base cabinetry (including drawer and door units) for the kitchen island as specified. • Kitchen Perimeter Cabinets - Supply and install all new cabinetry for the kitchen perimeter as specified in the plans. Bathroom/Powder Room Cabinetry • Vanity Cabinets - Supply and install vanity cabinetry (including drawer and door units) for all bathrooms per specifications. Countertops • Kitchen Island Countertop - Supply and install countertop for the kitchen island as specified. • Perimeter Kitchen Countertops - Supply and install all countertops for the kitchen perimeter as specified. • Bathroom Vanity Countertops - Supply and install countertops for all bathroom vanities per specifications. Scope This estimate covers the provision and installation of all new kitchen, bath, and powder room cabinetry and countertop components as specified in the interior finish drawings, Fixture, Finish & Specifications Sheet, and the Cabinet Packet. The homeowner's current sink base and upper cabinetry will be reused and are not included in this estimate. All work shall be executed in accordance with manufacturer's specifications, municipal code, and applicable local building codes.

32. Appliances				Material:	Labor:	Tax:	Total:		
				\$3000.00	\$1130.00	\$0.00	\$4130.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Install Appliances .. Location: All Areas Repairer: Contractor .. <i>Repair Notes:</i> Contractor to provide and install appliance as per below.	D	LS	1	3000.00	LS	1	1130.00	\$ 0.00	4130.00
32. Appliances Totals:				3000.00			1130.00	0.00	4130.00

Category Details

Contractor to provide and install all kitchen appliance components per the architectural plans (Kitchen section) and Fixture, Finish & System Specifications sheet; all work shall comply with applicable local building codes. Kitchen Appliance Components: • Urita 2-Stage Under Sink Water Filtration System with Digital Display Monitor • Badger 500 W/C, 1/2 HP Continuous Feed Kitchen Garbage Disposal with Power Cord, Badger Series • ZLINE - Matte Black Garbage Disposal Air Switch with Air Hose • 36-inch Externally Vented & Convertible Wall Range Hood, Brushed Stainless Steel • nsignia™ - 130-Can Beverage Cooler, Silver • Reuse of existing appliances (Range, Refrigerator, and Dishwasher) - No additional cost Scope: This estimate covers the provision and installation of all kitchen appliance components as specified in the Fixture, Finish & System Specifications and in accordance with the architectural plans (Kitchen section). It includes the supply and installation of the listed new appliances with the reuse of the existing range, refrigerator, and dishwasher, all executed in accordance with manufacturer's specifications and applicable local building codes.

33. Basements				Material:	Labor:	Tax:	Total:		
				\$3400.00	\$4725.00	\$0.00	\$8125.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Water Intrusion Repair(s) .. Location: Basement Repairer: Contractor .. <i>Repair Notes:</i> Contractor to repair water intrusion as per below.	R	LS	1	600.00	LS	1	900.00	\$ 0.00	1500.00
2 Passive Radon Mitigation System Installation .. Location: Basement Repairer: Contractor .. <i>Repair Notes:</i> Install passive radon mitigation system as per below.	D	LS	1	2800.00	LS	1	3500.00	\$ 0.00	6300.00
3 Radon Level Testing .. Location: Basement Repairer: Contractor .. <i>Repair Notes:</i> Contractor to perfotm radon testing as per below.	R	EA	0	0.00	EA	1	325.00	\$ 0.00	325.00
33. Basements Totals:				3400.00			4725.00	0.00	8125.00

Category Details

Foundation Crack Repair and Water Intrusion Evaluation Contractor to provide a comprehensive evaluation of the foundation cracks and assess any water intrusion issues. All work shall comply with applicable local building codes and manufacturer specifications. Foundation Crack Evaluation and Repair: • Inspect two existing foundation cracks to determine the extent of damage and structural integrity. • Clean and prepare the cracked areas for repair. • Inject epoxy or suitable filler into each crack to restore structural integrity and form a watertight seal. • Apply additional sealing measures, if necessary, to prevent future water intrusion. Water Intrusion Evaluation: • Assess the foundation for signs of water intrusion, including moisture staining and efflorescence. • Provide recommendations for any required remedial actions or improvements to mitigate water intrusion risks. Scope: All work will be executed in accordance with the industry's best practices, manufacturer's specifications, and applicable local building codes. Install Passive Radon Mitigation System & Level Testing Contractor to provide and install a complete passive radon mitigation system as specified in the plumbing drawings (P1.2) and Fixture, Finish & Specifications Sheet. All work shall comply with municipal and local building codes. Slab Preparation & Radon Vent Pipe • Excavate as necessary to access the sub-slab area. • Install 3" Schedule 40 PVC vent piping under the slab. • Seal all slab penetrations per specifications. Vent Stack Through Roof • Extend the radon vent pipe through the roof. • Install proper flashing and weatherproofing in accordance with the drawing details. Radon Sealants & Gaskets • Provide and apply radon-rated sealants and gaskets at slab edges, penetrations, and control joints. Scope: Installation will adhere to manufacturer recommendations, industry best practices, and applicable local building codes. Test Setup & Deployment • Supply and deploy approved radon testing equipment at designated locations. Monitoring: • Conduct continuous radon monitoring for a minimum

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of 48 hours to ensure accurate data collection. Data Analysis & Reporting: • Analyze the collected data and prepare a comprehensive report including findings and recommendations. Scope: All testing procedures shall be performed after all major work is completed but before finalizing the project in accordance with applicable municipal codes and consultant guidelines.

34. Cleanup				Material:	Labor:	Tax:	Total:		
				\$650.00	\$950.00	\$0.00	\$1600.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Demo and Debris removal of components .. Location: All Areas Repairer: Contractor	D	LS	1	650.00	LS	1	950.00	\$ 0.00	1600.00
34. Cleanup Totals:				650.00			950.00	0.00	1600.00

Category Details

Contractor to provide and perform all interior and exterior cleanup services per the project specifications and applicable municipal codes; all work shall be performed per plans and to the home owner's satisfaction. Interior Cleanup: • Dusting & Surface Cleaning – Clean all interior surfaces, including floors, walls, and fixtures • Interior Window Cleaning – Clean all interior windows and glass surfaces • Floor Cleaning – Vacuum, mop, and sweep all interior floor surfaces Exterior Cleanup: • Power Washing – Clean exterior walls, walkways, entryways, and decks • Exterior Window Cleaning – Clean all accessible exterior windows • Debris Removal – Remove and dispose of exterior debris • Outdoor Surface Cleanup – Clean patios, driveways, and other exterior surfaces Scope: This estimate covers the complete provision and execution of both interior and exterior cleanup services as specified in the project requirements; it includes detailed cleaning of interior surfaces, windows, and floors, as well as exterior power washing, window cleaning, debris removal, and outdoor surface cleanup, all performed per plans and to the home owner's satisfaction, in accordance with applicable municipal codes and manufacturer's recommendations.

35. Miscellaneous				Material:	Labor:	Tax:	Total:		
				\$2000.00	\$4500.00	\$0.00	\$6500.00		
Repair Item	Repair Class	M.Unit	M.Qty	M.Cost	L.Unit	L.Qty	L.Cost	Tax	Sub Total
1 Demolition .. Location: All Areas Repairer: Contractor .. Repair Notes: Contractor to perform demolition per as below.	D	EA	1	2000.00	EA	1	4500.00	\$ 0.00	6500.00
35. Miscellaneous Totals:				2000.00			4500.00	0.00	6500.00

Category Details

Contractor to provide and perform all demolition work, subsequent cleanup, and final cleanup services per the demolition plans (A0.0), architectural drawings, and Fixture, Finish & Specifications Sheet; all work shall comply with municipal code and applicable local building codes. Line Items: • Demolition of Interior Non-Load Bearing Walls – Demolish and remove all designated interior non-load bearing walls • Removal of Floor Coverings and Baseboards – Demolish and remove existing floor coverings and baseboards • Removal of Doors and Windows – Carefully remove existing doors and windows • Debris Removal and Disposal – Collect, load, and dispose of all demolition debris • Protection and Incidental Demolition – Implement protective measures and address incidental demolition work Scope: This estimate covers the complete demolition of designated interior non-load bearing walls, floor coverings, baseboards, doors, and windows—including debris removal and protective measures—performed in accordance with the demolition plans (A0.0), architectural drawings, and Fixture, Finish & Specifications Sheet, and in compliance with applicable municipal building codes.

Renovation/Construction Project Bid Submitted by: 11 North Inc**Client: Suraj Prakash & Meghna Sahay Address: 1057 Elmwood , Deerfield Illinois 60015****Construction Categories****Total \$**

Section 1	Masonry	0.00
Section 2	Siding	39000.00
Section 3	Gutters/Downspouts	0.00
Section 4	Roof	11600.00
Section 5	Shutters	0.00
Section 6	Exteriors	5750.00
Section 7	Walks	8500.00
Section 8	Driveways	7500.00
Section 9	Painting (Ext.)	5500.00
Section 10	Caulking	0.00
Section 11	Fencing	1500.00
Section 12	Grading/Landscaping	4000.00
Section 13	Windows	27000.00
Section 14	Weatherstrip	0.00
Section 15	Doors (Ext.)	8000.00
Section 16	Doors (Int.)	16000.00
Section 17	Partition Wall	36000.00
Section 18	Plaster/Drywall	28500.00
Section 19	Decorating	10620.00
Section 20	Wood Trim	4594.12
Section 21	Stairs	4800.00
Section 22	Closets	4600.00
Section 23	Wood Floors	0.00
Section 24	Finished Floors	27500.00
Section 25	Ceramic Tile	0.00
Section 26	Bath Accessories	1000.00
Section 27	Plumbing	13450.00
Section 28	Electrical	16700.00
Section 29	Heating	26700.00
Section 30	Insulation	0.00
Section 31	Cabinetry	23723.50
Section 32	Appliances	4130.00
Section 33	Basements	8125.00
Section 34	Cleanup	1600.00
Section 35	Miscellaneous	6500.00
Section 36	Contractor Recommended Items	0.00
Section 1 - 36 Construction Cost SUBTOTAL		352892.62

CONTRACTOR SIGNATURE: Andrew Fishman

11 North Inc
Andrew Fishman
11 N Northwest Highway #116 Park Ridge Illinois 60068
Phone:()
Email: andrew@11northinc.com

1057 Elmwood Ave Deerfield, IL 60015

RESIDENTIAL ADDITION AND REMODEL. GARAGE EXPANSION WITH NEW STEEL SUPPORT BEAM AND COLUMN IN BASEMENT. FIRST FLOOR REMODEL WITH NEW KITCHEN AND ADDED POWDER ROOM. SECOND FLOOR ADDITION WITH 3 BEDROOMS, 2 FULL BATHROOMS AND LAUNDRY CLOSET.

NAME: SURAJ & MEGHNA PRAKASH
PHONE: (312) 613-6877
EMAIL: SURAJ1912@GMAIL.COM
ADDRESS: 1057 ELMWOOD AVE
DEERFIELD, IL 60015

COMPANY: N/A
CONTACT: N/A
PHONE: N/A
EMAIL: N/A
ADDRESS: N/A

COMPANY: COORLAS ARCHITECTURE PLLC
CONTACT: STEPHEN COORLAS
PHONE: (847) 627-1550
EMAIL: STEPHEN@COORLASARCH.COM
ADDRESS: 1849 GREN BAY RD STE 109
HIGHLAND PARK, IL 60035



CLASSIFICATION & CONSTRUCTION			
BUILDING CLASSIFICATION:		R-3 SINGLE FAMILY DISTRICT	
CONSTRUCTION TYPE:		TYPE V-B (NON-SPRINKLED)	
BUILDING HEIGHT:		PROPOSED= 26' 11"	
LEVEL 01 (EXISTING)	=	1,311 SF	
GARAGE (EXISTING)	=	212 SF	
LEVEL 01 (REMODELED)	=	1,151 SF	
GARAGE (REMODELED)	=	385 + 22 (NEW) = 407	SF
BASEMENT (EXISTING)	=	913 SF	(NOT INCLUDED IN F.A.R.)
LEVEL 02 (NEW)	=	895 SF	
TOTAL F.A.R. ALLOWED	=	3,176 SF	
ACTUAL TOTAL SF	=	2,463 SF (COMPLIES)	

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL FIRE CODE (IFC)
2017 NATIONAL ELECTRICAL CODE (NEC)
ILLINOIS STATE PLUMBING CODE (LATEST EDITION)

	DETAIL		REVISIONS		DOOR NUMBER
	SECTION		COLUMN GRID		WALL TYPE
	ELEVATION		KEY NOTE INDICATOR		ROOM NUMBER

SHT #	SHT NAME	ISSUE DATE
C0.0	COVER SHEET	01-31-2025
G0.0	GENERAL NOTES	01-31-2025
A50.0	ARCHITECTURAL SITE PLAN	01-31-2025
A0.0	DEMOLITION PLANS	01-31-2025
A1.0	ARCHITECTURAL FLOOR PLAN - LEVEL 01	01-31-2025
A1.1	ARCHITECTURAL FLOOR PLAN - LEVEL 02	01-31-2025
A1.2	3D AXONOMETRIC PLAN VIEW - LEVEL 01	01-31-2025
A1.3	3D AXONOMETRIC PLAN VIEW - LEVEL 02	01-31-2025
A1.4	ARCHITECTURAL REFLECTED CEILING PLAN	01-31-2025
A1.5	ARCHITECTURAL ROOF PLAN	01-31-2025
A1.6	ARCHITECTURAL DIMENSIONED PLAN - LEVEL 01	01-31-2025
A1.7	ARCHITECTURAL DIMENSIONED PLAN - LEVEL 02	01-31-2025
A2.0	ARCHITECTURAL EXTERIOR ELEVATIONS	01-31-2025
A2.1	ARCHITECTURAL EXTERIOR ELEVATIONS	01-31-2025
A2.2	ARCHITECTURAL 3D EXTERIOR AXONS	01-31-2025
A3.0	ARCHITECTURAL EXTERIOR WALL SECTIONS	01-31-2025
A3.1	ARCHITECTURAL EXTERIOR WALL SECTIONS	01-31-2025
A3.2	ARCHITECTURAL EXTERIOR WALL SECTIONS	01-31-2025
A4.0	ENLARGED KITCHEN DETAILS	01-31-2025
A4.1	ENLARGED INTERIOR ELEVATIONS	01-31-2025
A7.0	DOOR, WINDOW, & WALL SCHEDULE	01-31-2025
E1.0	ELECTRICAL POWER PLAN	01-31-2025
E1.1	ELECTRICAL LIGHTING PLAN	01-31-2025
M1.0	MECHANICAL PLANS AND SCHEDULES	01-31-2025
M1.1	MECHANICAL DETAILS	01-31-2025
P1.0	PLUMBING FLOOR PLAN	01-31-2025
P1.2	PLUMBING DETAILS	01-31-2025
S1.0	STRUCTURAL FRAMING - LOWER LEVEL	01-31-2025
S1.1	STRUCTURAL FRAMING - LEVEL 02	01-31-2025
S1.2	STRUCTURAL FRAMING - ROOF PLAN	01-31-2025
S2.0	STRUCTURAL FRAMING - ELEVATIONS	01-31-2025
S2.1	STRUCTURAL FRAMING 3D	01-31-2025
S0.0	STRUCTURAL GENERAL NOTES	01-31-2025
S0.1	STRUCTURAL GENERAL DETAILS	01-31-2025

THIS AREA RESERVED FOR MUNICIPAL
OR BUILDING DEPARTMENT STAMP



THESE DRAWINGS HAVE BEEN PREPARED AT AND/OR UNDER MY SUPERVISION TO THE BEST OF MY KNOWLEDGE AND BELIEVE CONFORM AND COMPLY WITH THE REQUIREMENTS OF THE DEPT. OF BLDNG. AND CODES HAVING JURISDICTION

STATE OF ILLINOIS
#001.023474
REGISTERED ARCHITECT
STEPHEN COORLAS
EXP: 11-30-2025

DESIGN FIRM REGISTRATION
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COVER SHEET

C0.0

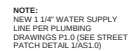
1. GENERAL CONTRACTOR TO VISIT SITE TO BECOME FAMILIAR WITH THE CONDITIONS TO BETTER UNDERSTAND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
2. UNLESS OTHERWISE INDICATED ON THESE DRAWINGS OR IN THE PROJECT MANUAL, THE BEING N.I.C. SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE SAME ARE PART OF THE CONTRACT DEFINED BY THESE DRAWINGS.
3. SOLELY AS A CONVENIENCE TO THE OWNER AND CONTRACTOR, THE ARCHITECT MAY INCLUDE DOCUMENTS (OR INCORPORATE RECOMMENDATIONS) PREPARED BY CERTAIN OWNER CONSULTANTS INTO THE DOCUMENTS ISSUED BY THE ARCHITECT. IT IS EXPRESSLY UNDERSTOOD AND AGREED THAT FOR ANY INFORMATION PROVIDED BY SAID CONSULTANTS, THE ARCHITECT ASSUMES NO LIABILITY, REGARDLESS OF SUCH INCLUSION.
4. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
5. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOB SITE, WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGE AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
6. NO STRUCTURAL MEMBER SHALL BE CUT FOR PIPES, C.A. DUCTS, ETC., UNLESS SPECIFICALLY DETAILED AND/OR APPROVED BY THE ARCHITECT.
7. WHERE LARGER STUDS AND/OR FURRING ARE REQUIRED TO COVER DUCTS, PIPING, COLUMNS, X-BRACING, SADDLES, BOLTS, CONDUIT, ETC., THE LARGER STUDS AND/OR FURRING SHALL EXTEND THE FULL LENGTH AND HEIGHT OF THE SURFACE WHERE THE FURRING OCCURS.
8. CONTRACTOR TO COORDINATE NEW SCOPE OF WORK REQUIREMENTS WITH ALL DISCIPLINES AND PROVIDE NOTICE OF DIVISION OF CONTRACT. INVESTIGATE EXISTING CONDITIONS THOROUGHLY AND IDENTIFY CONFLICTS, IF ANY, AS EARLY AS POSSIBLE DURING CONSTRUCTION IN ORDER TO RESOLVE CONFLICTS AS SOON AS POSSIBLE.
9. ALL FIXTURES FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.



Diagram illustrating the cross-section of a road construction showing various layers and their requirements:

- SAWCUT PAVEMENT AND REPLACE UPON COMPLETION OF NEW INSTALLATION**
- ASPHALT BINDER COURSE AND FINISHED ASPHALT LAYER. REFER TO MUNICIPAL REQUIREMENTS FOR THICKNESS AND TREATMENT**
- PROCESSED GRAVEL FILL. REFER TO CODE FOR 'Z' REQUIREMENT**
- EMBEDMENT PER MUNICIPAL REQUIREMENTS. REFER TO CODE FOR 'X' AND 'Y' MINIMUMS**
- PER REQUIRED**
- 0" MIN**
- 1" 0**

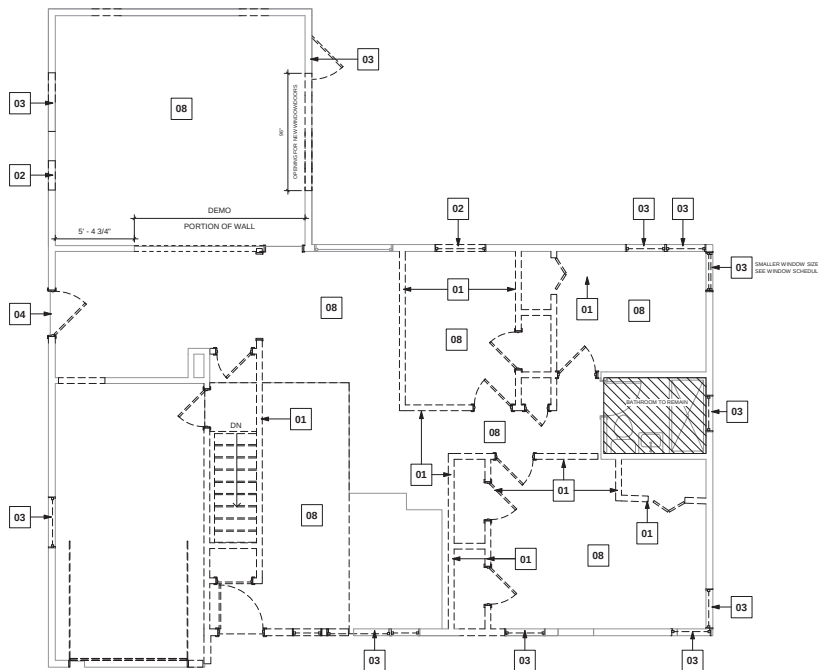
① SITE DETAIL - STREET PATCH DETAIL
1/4" = 1'-0"



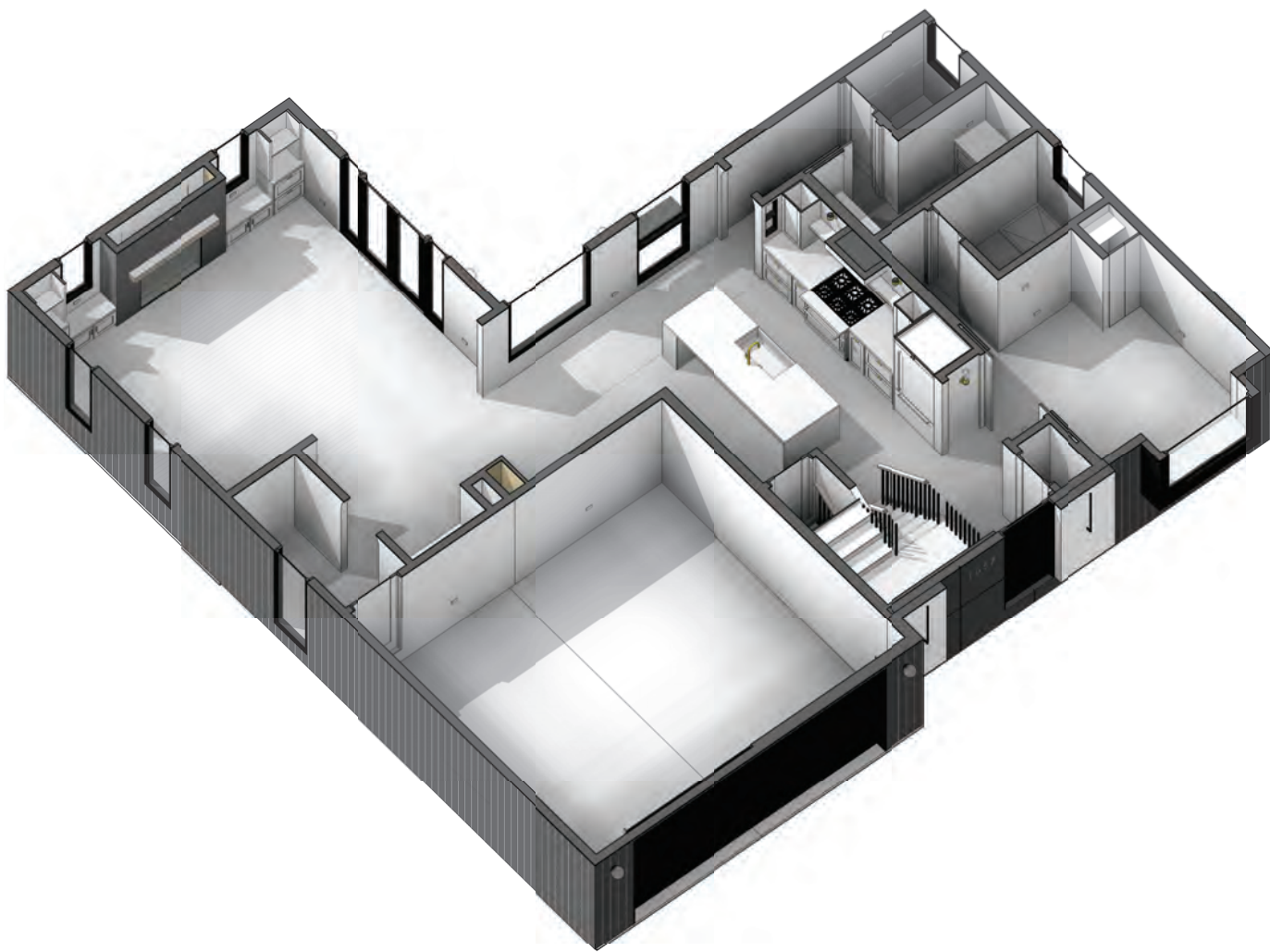
③ ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

ON SITE DRIVEWAY	=	546	SF
ENTRY APRON	=	267	SF
GARAGE	=	406	SF
LEVEL 01 FOOTPRINT	=	1,150	SF
ALLOWED	=	2,382	SF
TOTAL	=	2,369	SF (COMPLIES)

AS1.0



A0.0



① 3D AXONOMETRIC FLOOR PLAN - LEVEL 01

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STEPHEN COORLAS
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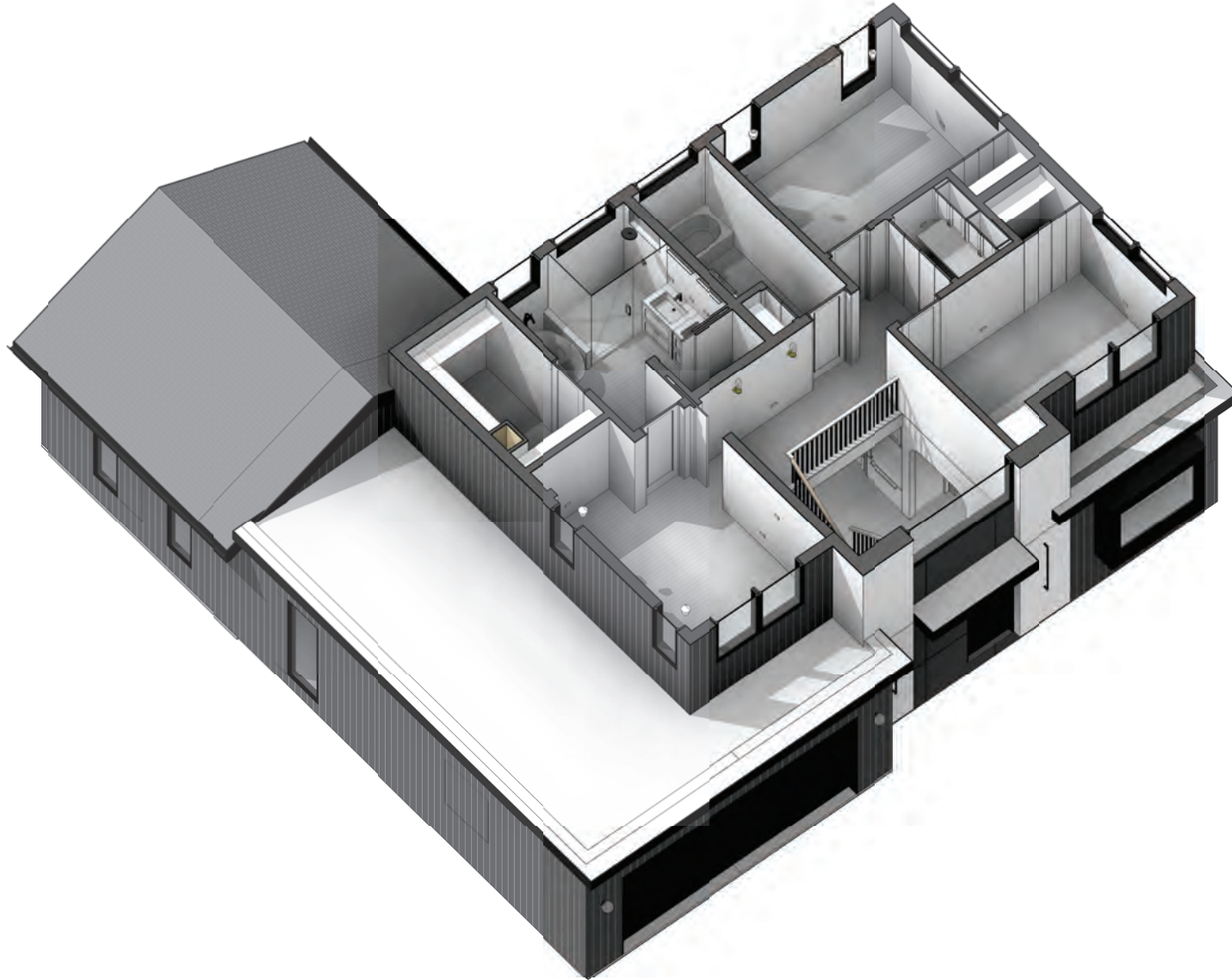
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3D AXONOMETRIC PLAN VIEW -
LEVEL 01

A1.2



① 3D AXONOMETRIC FLOOR PLAN - LEVEL 02

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3D AXONOMETRIC PLAN VIEW -
LEVEL 02

A1.3

MATERIAL KEYNOTES

- | | | | |
|------|---|------|--|
| 1.02 | PREFINISHED ALUMINUM FASCIA ENCLOSURE (22GA. COLOR: MATTE BLACK) | 4.10 | UNDER CABINET LED TAPE LIGHTING (COORDINATE WITH KITCHEN DESIGNER) |
| 1.08 | PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT SYSTEM (COLOR: MATTE BLACK) | 4.11 | 1x4" SURFACE MOUNT INTEGRATED LED PANEL WITH ADJUSTABLE COLOR TEMPERATURE - LITHONIA LIGHTING CONTRACTOR SELECT (MODEL# CPANL1X4 40LM SWWT 120 TO DCMK) |
| 1.10 | PVC SOFFIT PANEL SYSTEM 4" PLANKS WITH WOOD GRAIN TEXTURE AND COLOR BY WORTHHOUSE (VERIFY COLOR WITH ARCHITECT). VENTED PANELS TO BE INSTALLED ON ALL VAULTED ROOF AREAS. REFER TO MANUFACTURER'S INSTALLATION RECOMMENDATIONS. | 4.12 | EXTERIOR VET RATED WALL MOUNT LIGHT FIXTURE (COORDINATE OCTAGONAL JBOX REQUIREMENTS WITH HOMEOWNER'S LIGHT FIXTURE) |
| 4.02 | 4" RECESSED LED LIGHT FIXTURE (ADJUSTABLE COLOR TEMPERATURE) | 4.13 | 5/8" TYPE X GYPSUM CEILING, TAPE, MUD AND SAND ALL SEAMS SMOOTH. PAINT SHERWIN WILLIAMS CBX EXTRA WHITE |
| 4.04 | 4" VET RATED RECESSED LED LIGHT FIXTURE (ADJUSTABLE COLOR TEMPERATURE) | 4.15 | INSULATED GARAGE CEILING SYSTEM. JOIST CAVITIES SHALL RECEIVE R-30 CLOSED CELL SPRAY FOAM INSULATION. SHEATHING ABOVE TO FUNCTION AS AIR BARRIER WITH ALL SEAMS AND JOINTS PROPERLY SEALED WITH CALK. SECURE 1 1/2" RIGID INSULATION BOARD TO UNDERSIDE OF JOISTS AND 2X2 BATTENS PERPENDICULAR TO JOISTS FOR MOUNTING 5/8" TYPE X GYPSUM. |
| 4.05 | 6" INSULATION RATED GIMBAL STYLE RECESSED LED LIGHT FIXTURE (ADJUSTABLE COLOR TEMPERATURE) | 4.16 | EXHAUST FAN WITH LIGHT - 100 CFM CEILING MOUNT BY UTILITECH (MODEL 7115-03) |
| 4.07 | WALL MOUNTED LIGHT FIXTURE (COORDINATE OCTAGONAL JBOX REQUIREMENTS WITH HOMEOWNER'S LIGHT FIXTURE) | 4.17 | BATTERY POWERED INTERCONNECTED SMOKE AND/OR CO2 DETECTOR, COORDINATE SECONDARY SYSTEM AND WIFI CONNECTION WITH HOMEOWNER |
| 4.08 | PENDANT LIGHT FIXTURE (COORDINATE OCTAGONAL JBOX REQUIREMENTS WITH HOMEOWNER'S LIGHT FIXTURE) | | |



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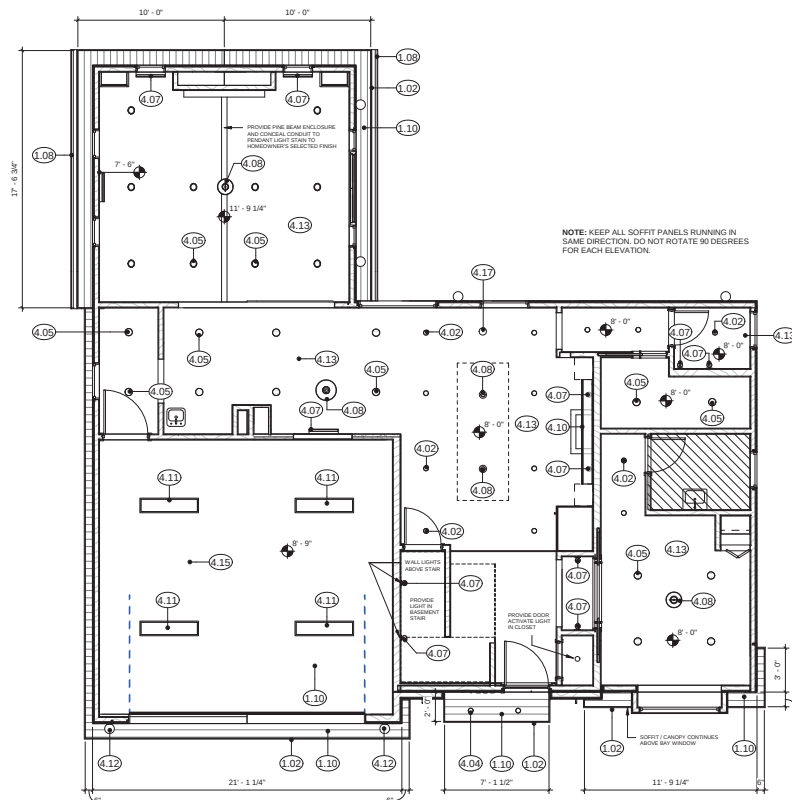
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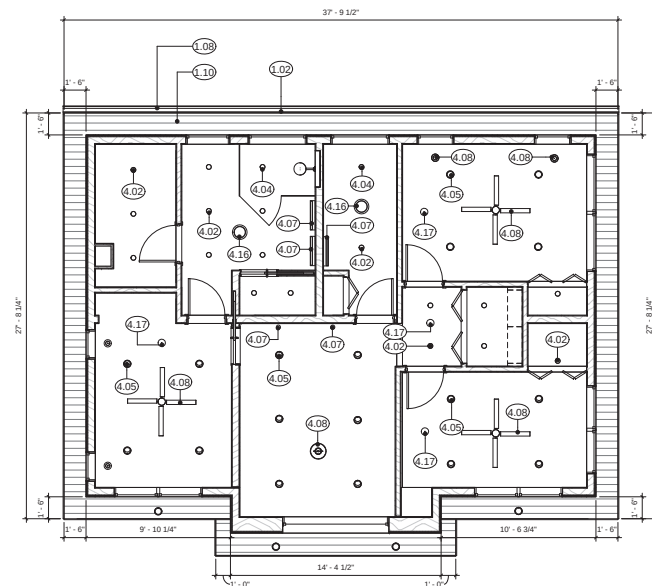
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ARCHITECTURAL REFLECTED
CEILING PLAN

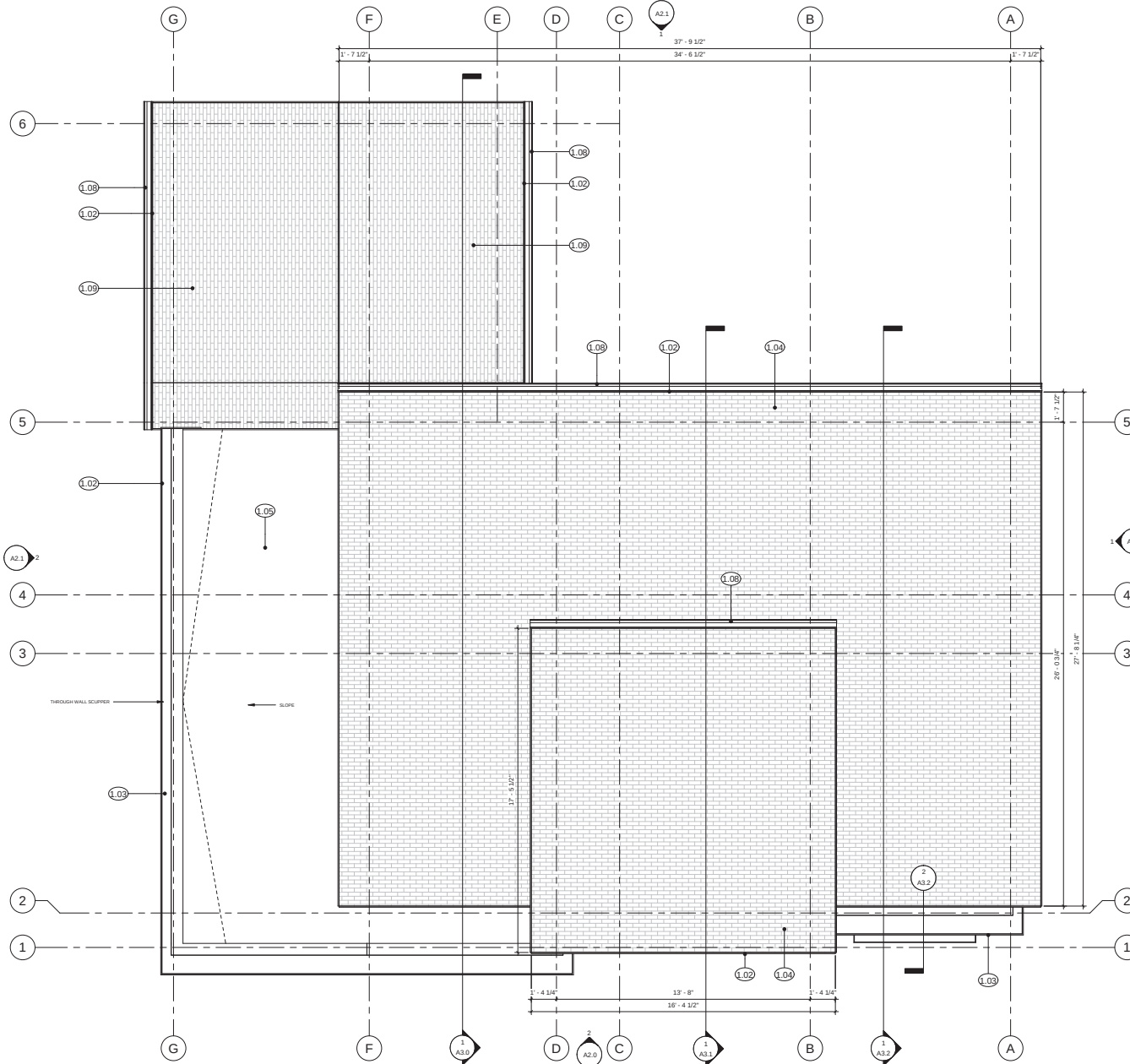
A1.4



① REFLECTED CEILING PLAN - LEVEL 01
1/4" = 1'-0"



2 ARCHITECTURAL REFLECTED CEILING PLAN - LEVEL 02
1/4" = 1'-0"



1 ARCHITECTURAL ROOF PLAN
3/8" = 1'-0"

GENERAL NOTES (ROOF)

1. ROOFING SYSTEM TO BE MODIFIED BY A QUALIFIED CONTRACTOR/INSTALLER APPROVED BY MANUFACTURER TO INSTALL MANUFACTURER'S PRODUCTS.
2. ROOFING SYSTEM TO BE MODIFIED IN STRICT ACCORDANCE WITH THE ROOFING SYSTEM MANUFACTURER'S WRITTEN TECHNICAL SPECIFICATIONS.
3. CONTRACTOR TO VERIFY & COORDINATE DUCT CURB AND ROOF PENETRATION LOCATIONS.
4. PRE-FABRICATED CURBS SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR AND SET LEVEL.
5. NO PLUMBING VENTS OR EXHAUST UNITS WITHIN 10'-0" OF INTAKE. USE DUCTING ABOVE ROOM TO ARCHIVE IF NECESSARY.
6. FABRICATE SHEET METAL CURB CAPS TO ALLOW FOR THICKNESS OF ROOFING PILES EXTENDED UP CURB FACE.
7. COORDINATE ROOF CURBS WITH HVAC EQUIPMENT.
8. ALL ROOF OPENINGS GREATER THAN 12"x12" SHALL BE FRAMED WITH STEEL ANGLES.
9. ALL DIMENSIONS ARE FOR GENERAL ARRANGEMENT & LOCATION ONLY. ACTUAL REQUIREMENTS & DIMENSIONS SHOULD BE VERIFIED AND COORDINATED WITH EQUIPMENT, SHOP DRAWING SUBMITTALS AND STRUCTURAL FRAMING.
10. ALL EXPOSED EXTERIOR BUILDING MATERIALS TO BE U.V. RATED.
11. ALL CONDENSATE DRAIN CONNECTIONS, TRAPS AND PIPING TO DISCHARGE AWAY FROM UNITS. DISCHARGE TO DRAIN ONTO SPLASH BLOCKS, TYPICAL.

MATERIAL KEYNOTES

- 1.02 PREFINISHED ALUMINUM FASCIA ENCLOSURE (22GA. COLOR: MATTE BLACK)
- 1.03 PREFINISHED ALUMINUM COPING WITH POSITIVE PITCH TO ROOF (22GA. COLOR: MATTE BLACK)
- 1.04 ASPHALT SHINGLE IN RUNNING BOND PATTERN, GAF ROYAL SOVEREIG (PROVIDE ARCHITECT WITH SAMPLE). REFER TO MANUFACTURERS INSTALLATION GUIDE FOR STARTER, EAVE, GABLE AND RIDGE CONDITIONS. PROVIDE R-49 CLOSED CELL SPRAY FOAM INSULATION AND VENTED BAFFLES BETWEEN RAFTERS.
- 1.05 SINGLE PLY EPDM ROOF MEMBRANE MECHANICALLY FASTENED OVER RIGID INSULATION.
- 1.08 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT SYSTEM (COLOR: MATTE BLACK)
- 1.09 EXISTING ROOFING TO REMAIN AS IS

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(773) 627-1000
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ARCHITECTURAL ROOF PLAN

A1.5

1. FRAMING VENDORS SHALL NOTE LOCATIONS OF ROOF MOUNTED EQUIPMENT OR PENETRATIONS AND PROVIDE STRUCTURAL REPAIRS TO MAINTAIN APPROPRIATE STRUCTURAL INTEGRITY.
2. FRAMING VENDORS TO PROVIDE ALL COMPONENTS REQUIRED TO STRUCTURE FRAMING INCLUDING: JOISTS, BEAMS, INCLUDING BUT NOT LIMITED TO ANCHORS, BOLTS, FASTENERS, BRACKETS, STRAPS, JOIST HANGERS, BOLTS, THE OWENS, BRACKETS, ETC....
3. ALL STRUCTURAL DESIGN, FABRICATION AND INSTALLATION SHALL CONFORM TO APPLICABLE BUILDING CODE, LOCAL CODES AND INDUSTRY STANDARDS.
4. WOOD FRAMING VENDORS SHALL FIELD VERIFY ALL JOIST AND BEAM CONNECTIONS TO BE MADE IN ACCORDANCE WITH DESIGN AND PROVIDE A COORDINATE DESIGN WITH HVAC, DUCTWORK AND/OR MECHANICAL EQUIPMENT TO PREVENT RISKS OF IMPOSING CONCENTRATED LOADING ON STRUCTURAL ELEMENTS.
5. FOR JOIST BEARING ON SOUTH PLATE HEIGHT UNFINISHED CRIPPLE STUDS UNDER BEARING EDS, DOOR AND WINDOW SILLINGS SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARD MINIMUM SIZES UNLESS OTHERWISE NOTED OTHERWISE.
6. IN AREAS OF CONVENTIONAL ROOF FRAMING, RAFTERS SHALL BE 2X12 AT 16" O.C. UNLESS OTHERWISE NOTED.
7. FOR FRAMMER'S REFERENCE, CYPRESS BOARD SHEATHING SHALL BE 5/8" TYP.
8. FLOOR AND ROOF SHEATHING SHALL BE 1/2" PLYWOOD, AND EXTERIOR SHEATHING SHALL BE 1/2" PLYWOOD. STAGGER JOIST AND SHEATHING AND FASTEN TO STUDS AND JOISTS WITH INDUSTRY STANDARD SCREW PATTERNS



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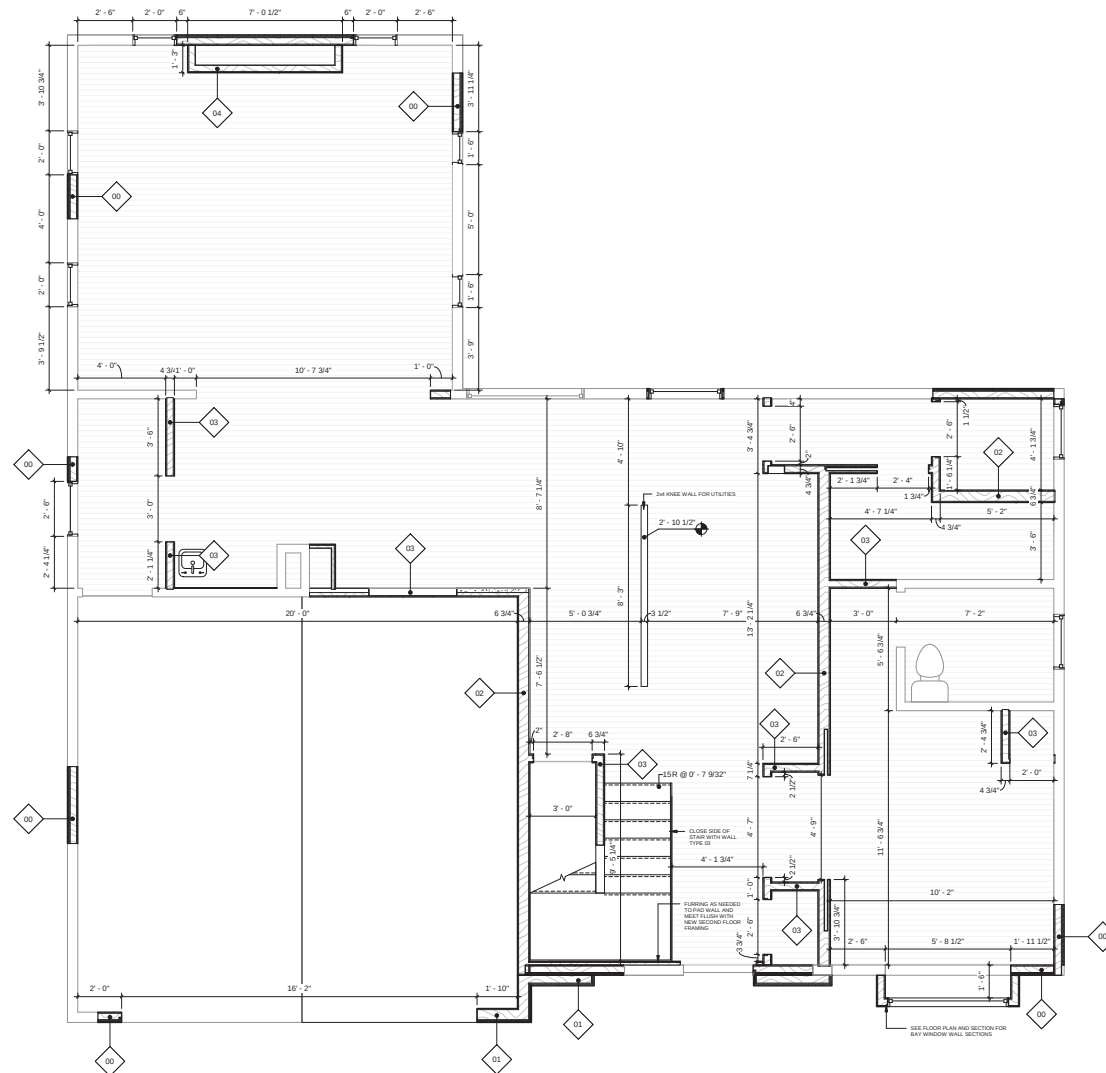
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ARCHITECTURAL DIMENSIONED
PLAN - LEVEL 01

A1.6



① ARCHITECTURAL DIMENSIONED PLAN - LEVEL 01
3/8" = 1'-0"

1. FRAMING MEMBERS SHALL NOTE LOCATIONS OF EXISTING UTILITIES, AND PROVIDE FOR PROJECTIONS AND ACCOMMODATE FRAMING TO PROVIDE APPROPRIATE STRUCTURAL OPENING
2. PROVIDE MEMBERS TO PROVIDE ALL FRAMING REQUIREMENTS FOR ALL FRAMING ELEMENTS, INCLUDING BUT NOT LIMITED TO ANCHORS, BOLTS, BRACKETS, HANGERS, BOLTS, TIE-DOWNS, BRACKETS, ETC.
3. ALL STRUCTURAL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE, LOCAL CODES AND INDUSTRY STANDARDS.
4. WOOD FRAMING MEMBERS SHALL FIELD VERIFY ALL DIMENSIONS BEFORE INSTALLATION AND COORDINATE DESIGN WITH HVAC, DUCTWORK AND MECHANICAL EQUIPMENT. PROVIDE BRACKETS OF CORRUGATED CONCENTRATED LOADING ON STUDS FOR MECHANICAL EQUIPMENT.
5. FOR JOISTS BEARING ON FRAME WALLS, PROVIDE SOLID BEARING WITH FULL HEIGHT UN-SPICED CRIPPLE STUDS UNDER BEAMS, ENDS, DOOR AND WINDOW THRESHOLDS. PROVIDE CRIPPLE STUDS IN ACCORD WITH STANDARD MINIMUM SIZES UNLESS OTHERWISE NOTED OTHERWISE.
6. IN AREAS OF CONVENTIONAL ROOF FRAMING, RAFTERS SHALL BE 2X12 AT 16" O.C. UNLESS OTHERWISE NOTED.
7. FOR RAFTERS REFERENCE TO THE FOLLOWING THROUGHOUT SHALL BE 5/8" TYPE X



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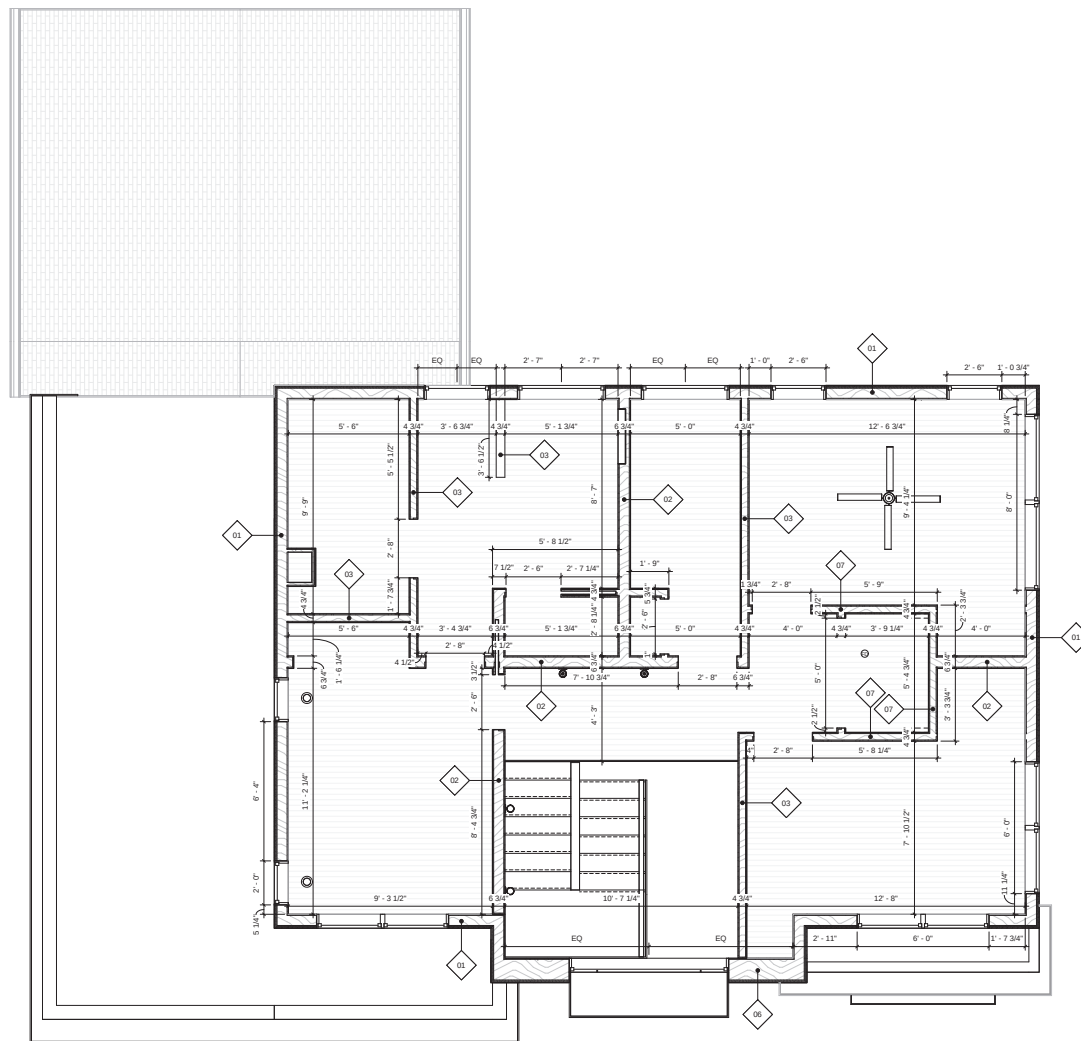
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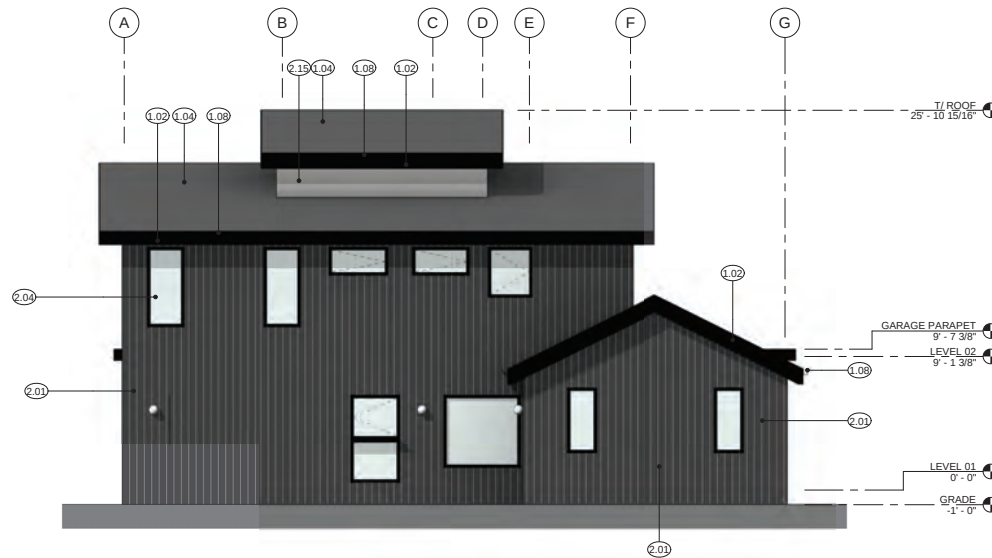
ARCHITECTURAL DIMENSIONED
PLAN - LEVEL 02

A1.7

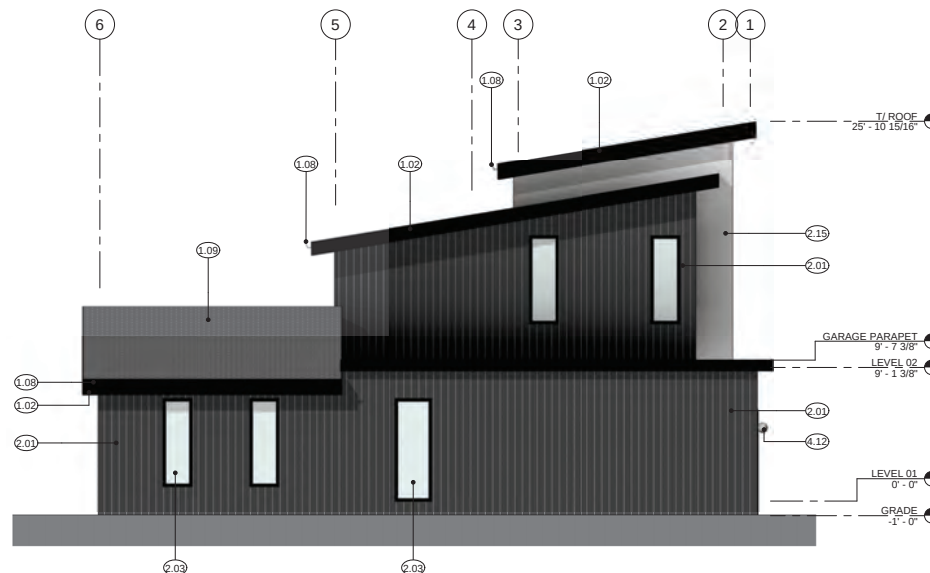


1 ARCHITECTURAL DIMENSIONED PLAN - LEVEL 02
3/8" = 1'-0"

ARCHITECTURAL DIMENSIONED
PLAN - LEVEL 02



1 ARCHITECTURAL ELEVATION - SOUTH
1/4" = 1'-0"



2 ARCHITECTURAL ELEVATION - EAST
1/4" = 1'-0"

MATERIAL KEYNOTES

- 1.02 PREFINISHED ALUMINUM FASCIA ENCLOSURE (22GA. COLOR: MATTIE BLACK)
- 1.04 ASPHALT SHINGLE IN RUNNING BOND PATTERN, GAF ROYAL SOVEREIG (PROVIDE ARCHITECT WITH SAMPLE). REFER TO MANUFACTURERS INSTALLATION GUIDE FOR STARTER, EAVE, GABLE AND RIDGE CONDITIONS. PROVIDE R-49 CLOSED CELL SPRAY FOAM INSULATION AND VENTED BAFFLES BETWEEN RAFTERS.
- 1.08 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT SYSTEM (COLOR: MATTIE BLACK)
- 1.09 EXISTING ROOFING TO REMAIN AS IS
- 2.01 5" VERTICAL VINYL SIDING, PRIMED AND PAINTED IN CHARCOAL OR ONYX BLACK FINISH (GEORGIA-PACIFIC DOUBLE 5" VERTICAL SIDING OR APPROVD EQUAL) PROVIDE HOMEOWNER WITH SAMPLE. PROVIDE ALL TRIM, STARTERS CHANNELS, CORNER ANGLES, FLASHING AND TRIM WHERE APPLICABLE.
- 2.03 FIXED PICTURE WINDOW. NO GRID WITH CLEAR 1" INSULATED GLAZING (1/4" HEAT TREATED + 1/2" AIR + 1/4" HEAT TREATED) COLOR/FINISH: BLACK COATED.
- 2.04 CASEMENT WINDOW SYSTEM. NO GRID WITH CLEAR 1" INSULATED GLAZING (1/4" HEAT TREATED + 1/2" AIR + 1/4" HEAT TREATED) COLOR/FINISH: BLACK COATED.
- 2.15 WHITE EIFS SYSTEM (STO MILANOLTRA FINE FINISH)
- 4.12 EXTERIOR WET RATED WALL MOUNT LIGHT FIXTURE (COORDINATE OCTAGONAL JBOX REQUIREMENTS WITH HOMEOWNER'S LIGHT FIXTURE)

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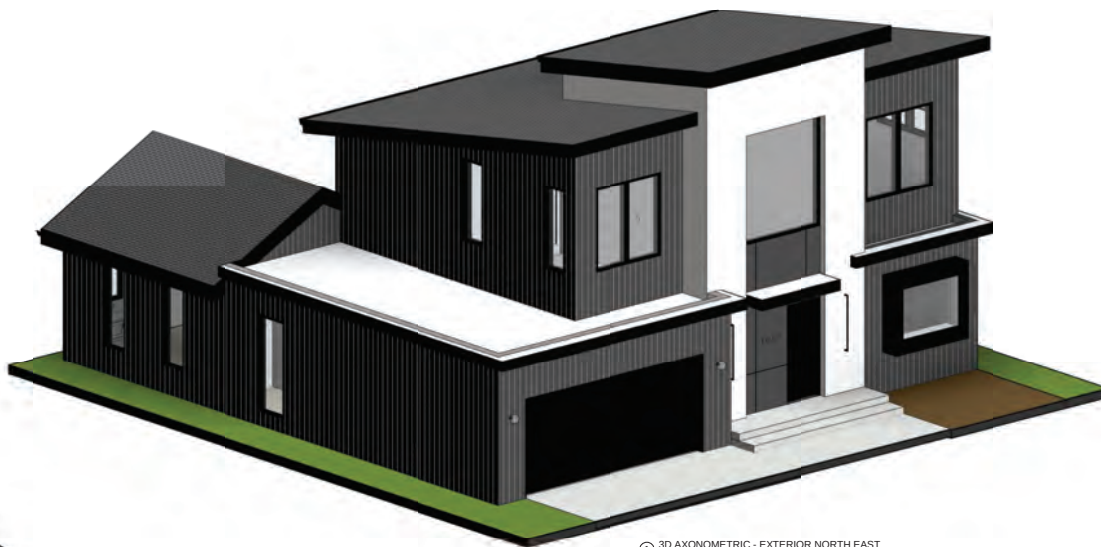
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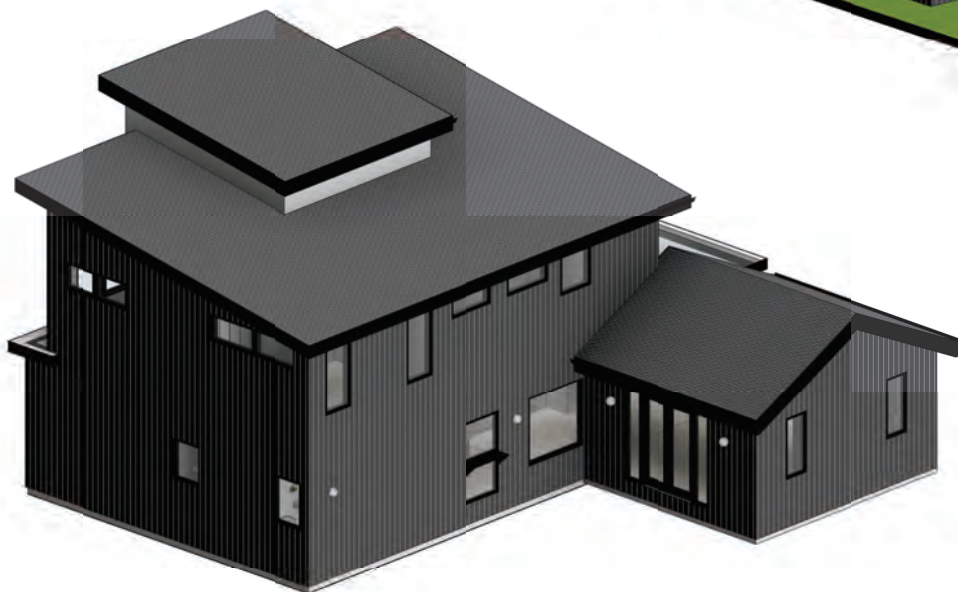
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ARCHITECTURAL EXTERIOR
ELEVATIONS

A2.1



① 3D AXONOMETRIC - EXTERIOR NORTH EAST



② 3D AXONOMETRIC - EXTERIOR SOUTH WEST

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ARCHITECTURE

1057 ELMWOOD AVE SUITE 100 DEERFIELD, IL 60015
(847) 827-1550 info@coorlasarchitecture.com
www.coorlasarchitecture.com

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STATE OF ILLINOIS
#001.023474
REGISTERED ARCHITECT
STEPHEN COORLAS
EXP: 11-30-2025

DESIGN FIRM REGISTRATION
#284-088205-0001
COORLAS ARCHITECTURE PLLC
EXP: 04-30-2025

DATE: 01-31-2025

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**PRAKASH ADDITION /
REMODEL**

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Deerfield, IL 60015

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JOB #	DRAWN BY:	CHECKED BY:
2024-041	CA	CA

ARCHITECTURAL 3D EXTERIOR
AXONS

A2.2

- 1.02 PREFINISHED ALUMINUM FASCIA ENCLOSURE (22GA. COLOR: MATTE BLACK)
- 1.04 ASPHALT SHINGLE IN RUNNING BOND PATTERN, GAF ROYAL SOVEREIGN (PROVIDE ARCHITECT WITH SAMPLE). REFER TO MANUFACTURERS INSTALLATION GUIDE FOR STARTER, EAVE, GABLE AND RIDGE CONDITIONS. PROVIDE R-49 CLOSED CELL SPRAY FOAM INSULATION AND VENTED BAPFLES BETWEEN RAFTERS.
- 1.05 SINGLE PLY EPDM ROOF MEMBRANE MECHANICALLY FASTENED OVER RIGID INSULATION.
- 1.08 PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT SYSTEM (COLOR: MATTE BLACK)
- 1.10 PVC SOFFIT PANEL SYSTEM 4" PLANKS WITH WOOD GRAIN TEXTURE AND COLOR BY WORTHHOUSE (VERIFY COLOR WITH ARCHITECT). VENTED PANELS TO BE INSTALLED ON ALL VAULTED ROOF AREAS. REFER TO MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- 2.01 5" VERTICAL VINYL SIDING, PRIMED AND PAINTED IN CHARCOAL OR ONYX BLACK FINISH (GEORGIA-PACIFIC DOUBLE 5" VERTICAL SIDING OR APPROVED EQUAL) REFER TO HOMEOWNER WITH SAMPLE. PROVIDE ALL TRIM, STARTERS CHANNELS, CORNER ANGLES, FLASHING AND TRIM WHERE APPLICABLE.
- 2.04 CASEMENT WINDOW SYSTEM, NO GRID WITH CLEAR 7" INSULATED GLAZING (1/4" HEAT TREATED + 1/2" AIR + 1/4" HEAT TREATED) COLOR/FINISH: BLACK COATED.
- 2.14 NEW EXTERIOR DOOR, SEE DOOR AND HARDWARE SCHEDULE FOR MORE INFORMATION
- 2.17 NEW 8" CONCRETE FOUNDATION WALL AND SPREAD FOOTING FOR FROST (SEE STRUCTURAL DRAWINGS)
- 3.01 STRUCTURAL STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS FOR DETAILS
- 3.04 STRUCTURAL BEAM, REFER TO STRUCTURAL DRAWINGS FOR SIZE AND CONNECTIONS
- 3.06 PERIMETER LEDGER ANGLE, REFER TO S2.FOR SIZE AND DETAIL.
- 3.10 COMPOSITE 4000 PSI CONCRETE SLAB WITH DECKING (CS3) SEE STRUCTURAL DETAILS.
- 4.05 6" INSULATION RATED GIBBLE STYLE RECESSED LED LIGHT FIXTURE (ADJUSTABLE COLOR TEMPERATURE)
- 4.08 PENDANT LIGHT FIXTURE (COORDINATE OCTAGONAL JOYX REQUIREMENTS WITH HOMEOWNER'S LIGHT FIXTURE)
- 4.11 1x4 SURFACE MOUNT INTEGRATED LED PANEL WITH ADJUSTABLE COLOR TEMPERATURE - LITHONIA LIGHTING CONTRACTOR SELECT (MODEL# CPANL 1x4 40LM SSW17 120 TO DCMK)
- 4.14 USG DRYWALL SUSPENSION SYSTEM MOUNTED FROM RAFTERS. FINISHED WITH 5/8" LITE WEIGHT DRYWALL, TAPE MUD JOINT SAND AND SMOOTH FOR PAINT FINISH (WS CHB EXTRA WHITE) PROVIDE 1/4" TRIM AT PERIMETER
- 4.15 INSULATED GARAGE CEILING SYSTEM. JOIST GAVITES SHALL RECEIVE R-30 CLOSED CELL SPRAY FOAM INSULATION, SHEATHING ABOVE TO FUNCTION AS AIR BARRIER WITH ALL BEAMS AND JOINTS PROPERLY SEALED WITH GULK. SECURE 1 1/2" RIGID INSULATION BOARD TO UNDERSIDE OF JOISTS AND 2X2 BATTENS PERPENDICULAR TO JOISTS FOR MOUNTING 5/8" TYPE X GYPSSUM.
- 4.17 BATTERY POWERED INTERCONNECTED SMOKE AND/OR CO2 DETECTOR, COORDINATE SECURITY SYSTEM AND WIFI CONNECTION WITH HOMEOWNER

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C O O R L A :

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(847) 627-1550 info@coorlasarch.com
www.coorlasarchitecture.com

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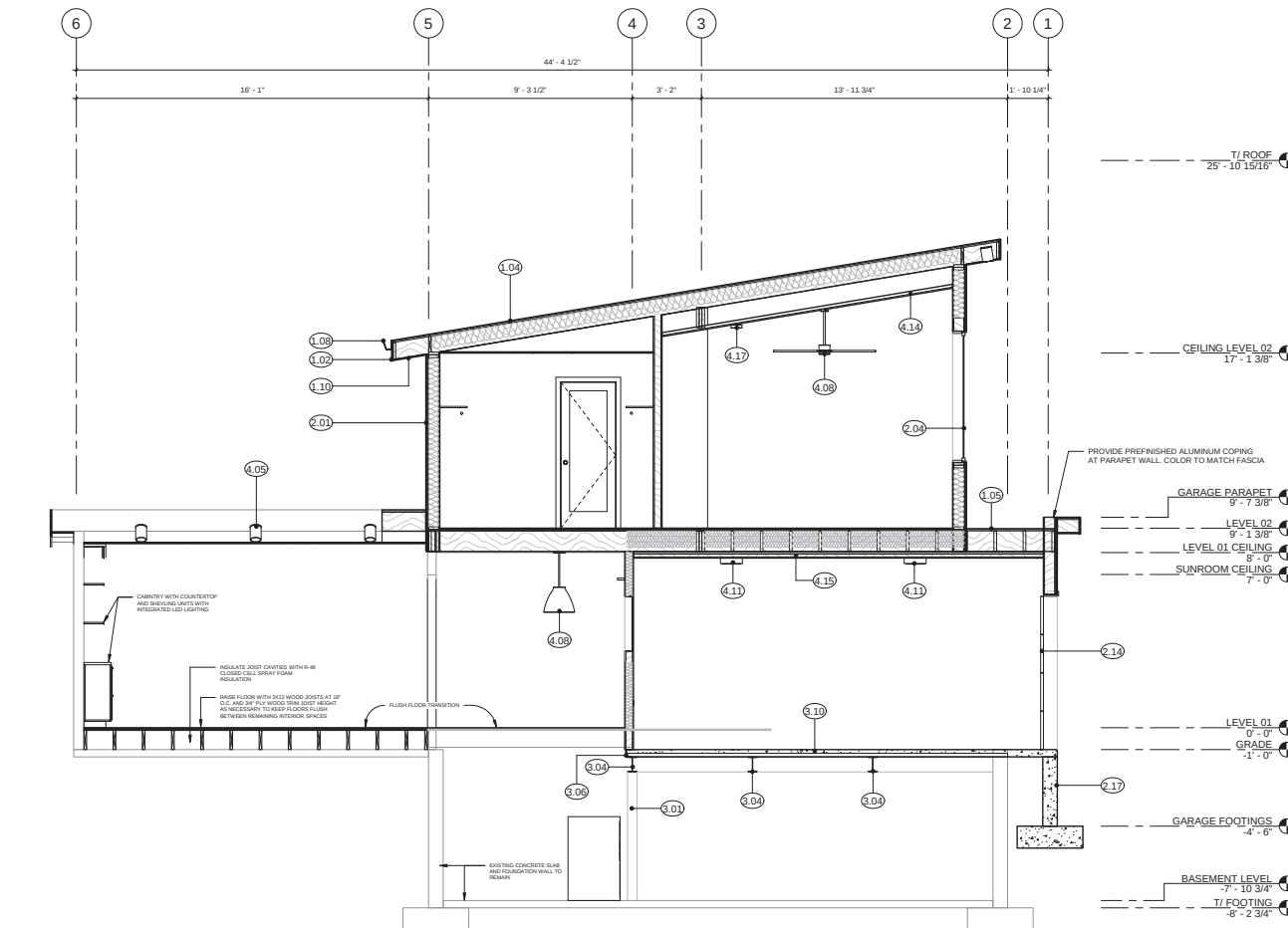
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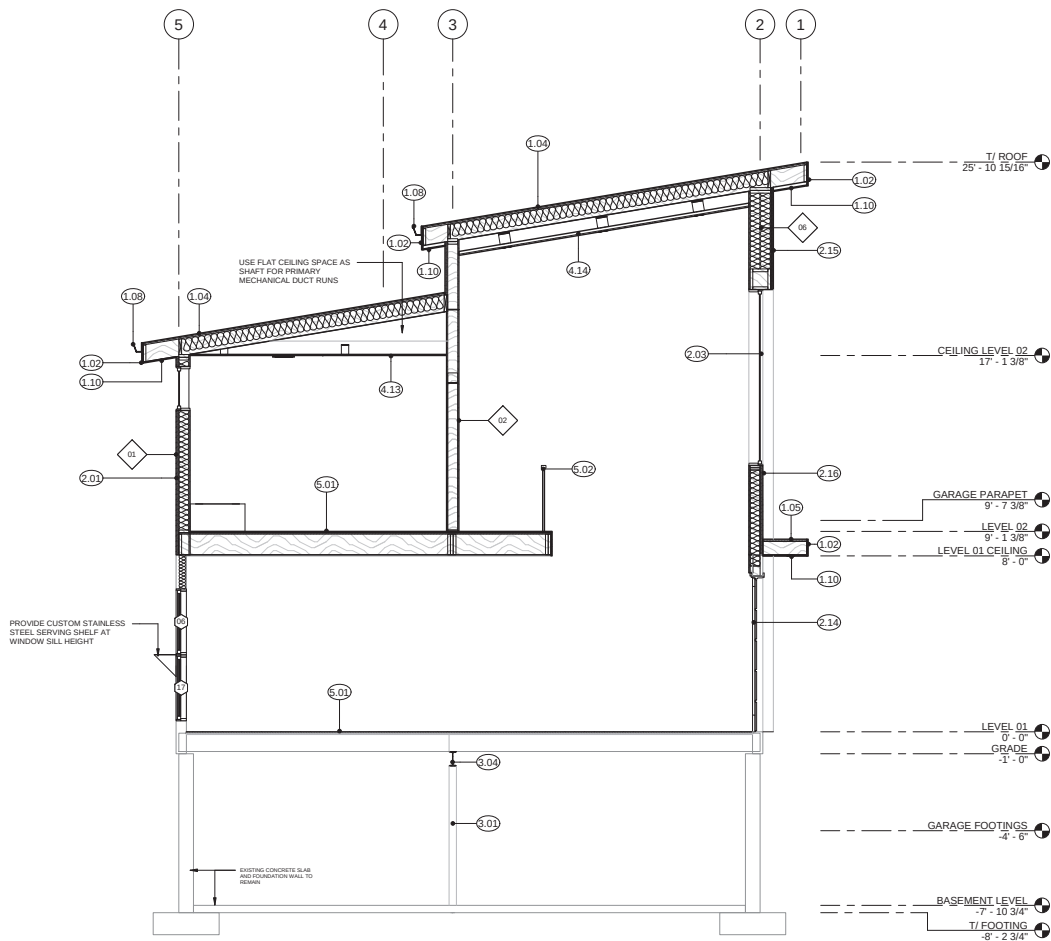
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ARCHITECTURAL EXTERIOR
WALL SECTIONS

A3.0



① ARCHITECTURAL BUILDING SECTION - GARAGE
3/8" = 1'-0"



1 ARCHITECTURAL BUILDING SECTION - DOUBLE HEIGHT FOYER
3/8" = 1'-0"

MATERIAL KEYNOTES

- 1.02 PREFINISHED ALUMINUM FASCIA ENCLOSURE (22GA. COLOR: MATTE BLACK)
- 1.04 ASPHALT SHINGLE IN RUNNING BOND PATTERN. GAF ROYAL SOVEREIG (PROVIDE ARCHITECT WITH SAMPLE). REFER TO MANUFACTURERS INSTALLATION GUIDE FOR STARTER, EAVE, GABLE AND RIDGE CONDITIONS. PROVIDE R-49 CLOSED CELL SPRAY FOAM INSULATION AND VENTED BAFFLES BETWEEN RAFTERS.
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- 2.01 5" VERTICAL VINYL SIDING, PRIMED AND PAINTED IN CHARCOAL OR ONYX BLACK FINISH (GEORGIA-PACIFIC DOUBLE 5" VERTICAL SIDING OR APPROVED EQUAL) PROVIDE HOMEOWNER WITH SAMPLE. PROVIDE ALL TRIM, STARTERS CHANNELS, CORNER ANGLES, FLASHING AND TRIM WHERE APPLICABLE.
- 2.03 FIXED PICTURE WINDOW. NO GRID WITH CLEAR 1" INSULATED GLAZING (1/4" HEAT TREATED + 1/2" AIR + 1/4" HEAT TREATED) COLOR/FINISH: BLACK COATED.
- 2.14 NEW EXTERIOR DOOR. SEE DOOR AND HARDWARE SCHEDULE FOR MORE INFORMATION
- 2.15 WHITE EIFS SYSTEM (STO MILANOLTRA FINE FINISH)
- 2.16 CHARCOAL EIFS SYSTEM (STO MILANOLTRA FINE FINISH)
- 3.01 STRUCTURAL STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
- 3.04 STRUCTURAL BEAM. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND CONNECTIONS
- 4.13 5/8" TYPE X GYPSUM CEILING. TAPE, MUD AND SAND ALL SEAMS SMOOTH. PAINT SHERWIN WILLIAMS CHB EXTRA WHITE
- 4.14 USG DRYWALL SUSPENSION SYSTEM MOUNTED FROM RAFTERS. FINISHED WITH 5/8" LITE WEIGHT DRYWALL. TAPE MUD AND SAND SEAMS TO PREP FOR PAINT FINISH (SW CHB EXTRA WHITE) PROVIDE 1X4 TRIM AT PERIMETER
- 5.01 VINYL FLOORING PER HOMEOWNER'S SELECTION. INCLUDE VINYL SQUARE EDGE TREADS WITH MATCHING FINISH.
- 5.02 1" SQUARE VERTICAL BALUSTERS 4" O.C. (PAINTED BLACK) AND RED OAK 1.5"x2.5" TOP RAIL (NATURAL OR STAINED TO MATCH FLOOR FINISH)

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COORLAS
ARCHITECTURE

1001 E. 11TH AVE. SUITE 100, DEERFIELD, IL 60015
(847) 627-1550 | INFO@COORLASARCH.COM
WWW.COORLASARCHITECTURE.COM

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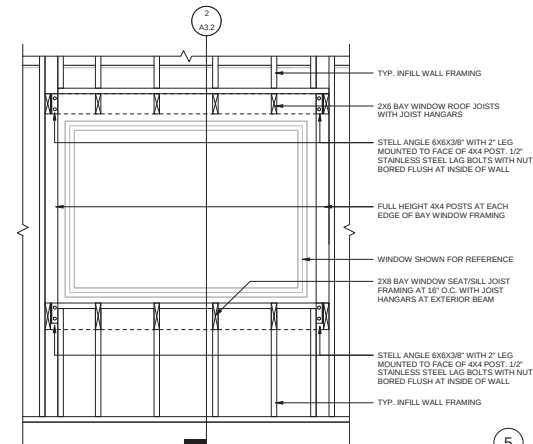
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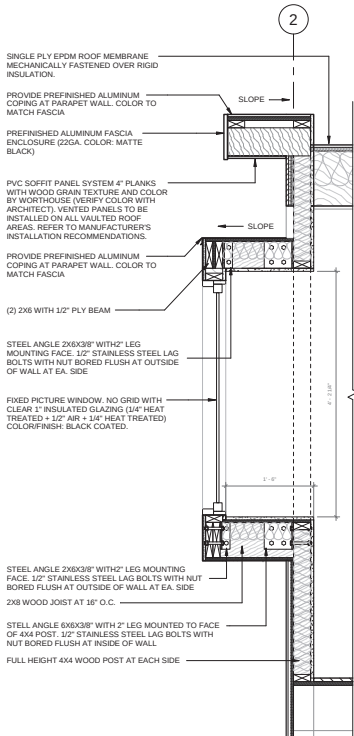
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ARCHITECTURAL EXTERIOR
WALL SECTIONS

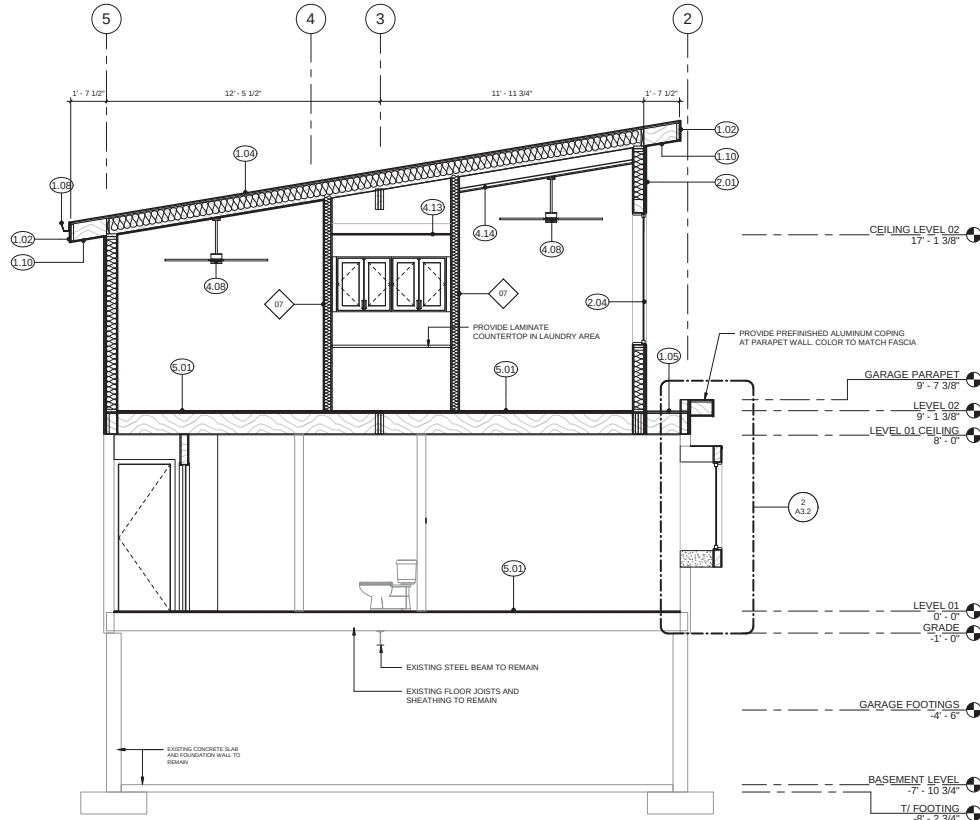
A3.1



① DETAIL - STRUCTURAL ELEVATION (BAY WINDOW)
3/4" = 1'-0"



② DETAIL - BAY WINDOW
1" = 1'-0"



③ ARCHITECTURAL BUILDING SECTION - BEDROOMS
3/8" = 1'-0"

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- 4.13 58" TYPE X GYPSUM CEILING, TAPE, MUD AND SAND ALL SEAMS SMOOTH, PAINT SHERWIN WILLIAMS CHB EXTRA WHITE
- 4.14 USG DRYWALL SUSPENSION SYSTEM MOUNTED FROM RAFTERS, FINISHED WITH 5/8" LITE WEIGHT DRYWALL, TAPE MUD AND SAND SEAMS TO PREP FOR PAINT FINISH (SW CHB EXTRA WHITE) PROVIDE 1X4 TRIM AT PERIMETER
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1001 GORDON RD SUITE 100 HIGHLAND PARK, IL 60035
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ARCHITECTURAL EXTERIOR WALL SECTIONS

A3.2

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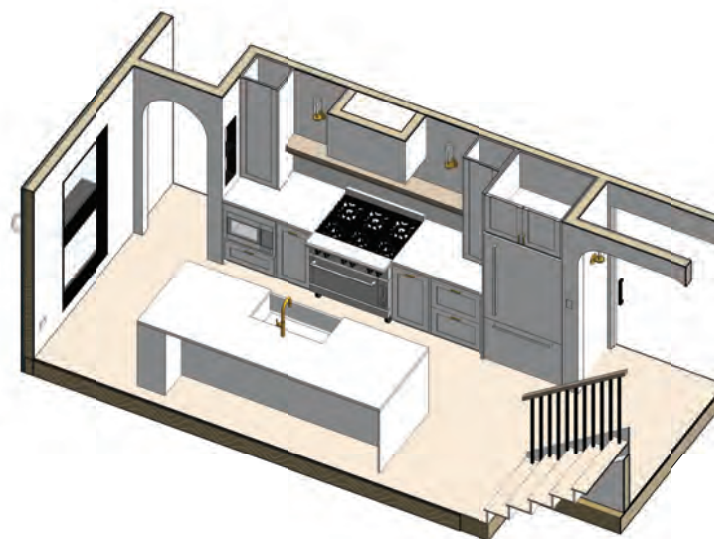
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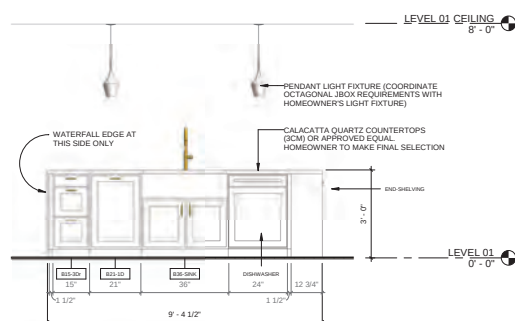
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ENLARGED KITCHEN DETAILS

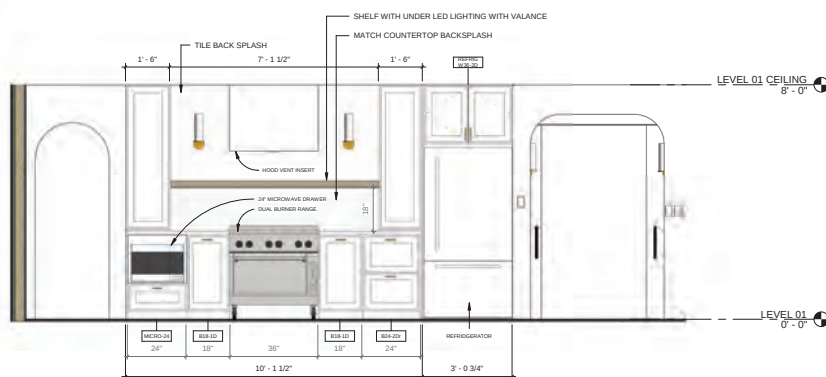
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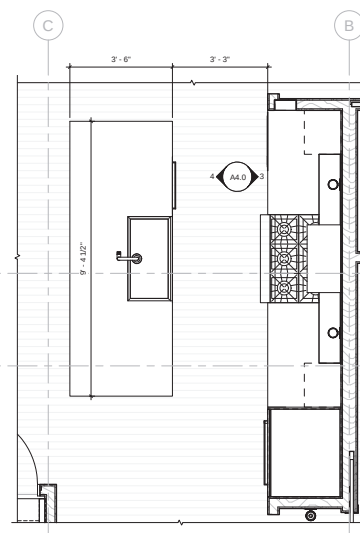
2 3D AXONOMETRIC - KITCHEN



4 ENLARGED ELEVATION - ISLAND
1/2" = 1'-0"



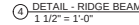
5 ENLARGED ELEVATION - KITCHEN UTILITY WALL
1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - KITCHEN
1/2" = 1'-0"

KITCHEN GENERAL NOTES

- ALL FACE PANELS SHAKER OR SLAB STYLE WITH FACE MOUNTED PULL
- TYPICAL PLYWOOD OR MDF CONSTRUCTION PAINTED COMPLETE
- ALL HARDWARE TO BE SOFT CLOSE.
- FABRICATOR TO VERIFY WITH HOMEOWNER THAT ALL APPLIANCE AND HARDWARE SPECIFICATIONS HAVE BEEN FINALIZED WITH CLIENT AT LEAST 2 WEEKS PRIOR TO FABRICATION
- PROVIDE MATCHING TOE-KICK PANEL AND FILLER TRIM PANELS WHERE APPLICABLE
- ALL DRAWERS TO BE DOVETAIL CONSTRUCTION
- PROVIDE 1/4" ADJUSTABLE SHELVING HOLES AND NICKEL PLATED PEGS WITH ONE (1) MATCHING FINISH LOOSE SHELF PER UNIT



A4.1

DOOR SCHEDULE

DOOR #	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	HDW. GROUP	MATERIAL	FRAME TYPE	FRAME FINISH	COMMENTS
100A		3'-0"	7'-0"	0'-1 3/8"	15				
101A		2'-4"	6'-8"	0'-1 3/8"					
103A		2'-4"	6'-8"						
105A		2'-1"	6'-8"						
106A		2'-0"	6'-8"	0'-2"					
108A		2'-4"	6'-8"	0'-1 3/8"					
112A		5'-0"	7'-0"	0'-1 3/4"					
113A		16'-0"	7'-0"	0'-1 1/2"					
113B		3'-0"	6'-8"	0'-1 3/8"					
114A		2'-6"	6'-8"	0'-1 3/8"					
201A		2'-6"	6'-8"						
202A		2'-6"	6'-8"	0'-1 3/8"					
203A		2'-6"	6'-8"	0'-1 3/8"					
203B		2'-10"	7'-0"	0'-0 1/2"					
204A		2'-6"	6'-8"						
205A		2'-6"	6'-8"	0'-2"					
206A		2'-6"	6'-8"	0'-1 3/8"					
207A		2'-6"	6'-8"	0'-1 3/8"					
208A		2'-0"	6'-8"	0'-2"					
208B		2'-0"	6'-8"	0'-2"					
209A		2'-6"	6'-8"	0'-2"					
209B		2'-6"	6'-8"	0'-2"					
210A		2'-0"	6'-8"	0'-2"					
210B		2'-0"	6'-8"	0'-2"					
211A		2'-6"	6'-8"	0'-1 3/8"					

NOTE TO GENERAL CONTRACTOR AND WINDOW PROVIDER: GLAZING IN HAZARDOUS LOCATIONS SHALL COMPLY WITH 2018 IRC, SECTION R308.4. HAZARDOUS LOCATION INCLUDE BUT ARE NOT LIMITED TO ALL GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS. GLAZING SITUATED IMMEDIATELY ADJACENT TO ANY OPERABLE DOOR LOCATED (WITHIN 24" DIAMETER OF ANY DOOR HINGE/JAMB) IS ALSO CONSIDERED HAZARDOUS AND SHALL RECEIVE TEMPERED SAFETY GLAZING PER CODE.

NOTE: PRIOR TO ORDERING WINDOWS, CONFIRM WITH HOMEOWNER IF ANY WINDOWS SHALL RECEIVE MUNTINS

NOTE: ALL NEW WINDOWS TO HAVE 7/8" BRICK MOULDING WITH RETURN REMOVED FOR TRIMLESS WINDOW INSTALL WITH SIDING

WINDOW SCHEDULE

TYPE MARK	WIDTH	HEIGHT	FUNCTION	ROOM NAME	ROOM #	Sill Height	Comments
02	2'-6"	7'-0"	FIXED	MUDROOM	110	0'-0"	
03	2'-0"	6'-0"	CASEMENT	PRIMARY BEDROOM	201	3'-0"	
03	2'-0"	6'-0"	CASEMENT	PRIMARY BEDROOM	201	3'-0"	
03	2'-0"	6'-0"	CASEMENT	GREAT ROOM	112	1'-0"	
03	2'-0"	6'-0"	CASEMENT	GREAT ROOM	112	1'-0"	
04	1'-6"	7'-0"	FIXED	GREAT ROOM	112	0'-0"	TEMPERED
04	1'-6"	7'-0"	FIXED	GREAT ROOM	112	0'-0"	TEMPERED
05	5'-4"	5'-0"	FIXED	DINING AREA	109	1'-6"	
06	3'-4"	3'-0"	CASEMENT	KITCHEN	102	3'-6"	
07	2'-6"	3'-6"	CASEMENT	POWDER ROOM	108	3'-0"	
08	2'-6"	3'-0"	CASEMENT	BATHROOM	104	3'-6"	
09	3'-0"	6'-0"	CASEMENT	PRIMARY BEDROOM	201	3'-0"	
09	3'-0"	6'-0"	CASEMENT	PRIMARY BEDROOM	201	3'-0"	
09	3'-0"	6'-0"	CASEMENT	BEDROOM	211	3'-0"	
09	3'-0"	6'-0"	CASEMENT	BEDROOM	211	3'-0"	
10	4'-0"	2'-0"	AWNING	BEDROOM	207	5'-6"	
10	4'-0"	2'-0"	AWNING	BEDROOM	207	5'-6"	
11	3'-0"	3'-6"	CASEMENT	ENSUITE	203	4'-0"	TEMPERED
12	4'-0"	2'-0"	AWNING	BATHROOM	206	5'-6"	TEMPERED
12	4'-0"	2'-0"	AWNING	ENSUITE	203	5'-6"	TEMPERED
14	3'-0"	2'-0"	AWNING	BEDROOM	211	5'-6"	
14	3'-0"	2'-0"	AWNING	BEDROOM	211	5'-6"	
15	7'-3"	8'-0"	FIXED		3'-0"		FOYER
17	3'-4"	3'-0"	FIXED	KITCHEN	102	3'-6"	TEMPERED
18	2'-0"	4'-6"	CASEMENT	GREAT ROOM	112	2'-6"	
18	2'-0"	4'-6"	CASEMENT			2'-6"	
19	5'-6"	4'-0"	FIXED			2'-9 3/8"	
20	2'-6"	5'-6"	CASEMENT			2'-0"	
20	2'-6"	5'-6"	CASEMENT			2'-0"	

NOTE:
PER TABLE R 402.1.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ALL WALL PENETRATION MUST CONTAIN A MINIMUM U-FACTOR OF **0.30**

NOTE:
PER R 402.4.2 OF THE 2018 IECC ALL NEW FENESTRATION SHALL BE LISTED AND LABELED BY THE MANUFACTURER

HARDWARE GROUPS

NOTE: CONTRACTOR TO COORDINATE COMPATABILITY OF HARDWARE WITH DOOR & FRAME. VERIFY ROUNDED HINGE CORNERS WITH SOLID CORE WOOD DOORS. IF HOMERUB, USE CODE "HC" AND DICTATE RADIUS THAT COMPLIES WITH DOOR.

GROUP 01 (INTERIOR LOCKABLE)

- (1) KWIKSET PISMO ROUND MATTE BLACK BED/BATH DOOR KNOB FEATURING MICROBAN ANTIMICROBIAL TECHNOLOGY WITH LOCK MODEL #730PSKRDTS15ACP
- (1) EVERBLT 3-1/2 IN. X 1/4 IN. RADIUS MATTE BLACK SQUEAK-FREE DOOR HINGE (3-PACK) MODEL #28256

GROUP 02 (INTERIOR PASSAGE)

- (1) KWIKSET PISMO ROUND MATTE BLACK HALL/CLOSET DOOR KNOB FEATURING MICROBAN ANTIMICROBIAL TECHNOLOGY MODEL #730PSKRDTS15ACP
- (1) EVERBLT 3-1/2 IN. X 1/4 IN. RADIUS MATTE BLACK SQUEAK-FREE DOOR HINGE (3-PACK) MODEL #28256

GROUP 03 (INTERIOR FKED)

- (1) KWIKSET PISMO ROUND MATTE BLACK DUMMY DOOR KNOB FEATURING MICROBAN ANTIMICROBIAL TECHNOLOGY MODEL #78BPSKRDTS15ACP
- (1) EVERBLT 3-1/2 IN. X 1/4 IN. RADIUS MATTE BLACK SQUEAK-FREE DOOR HINGE (3-PACK) MODEL #28256

GROUP 04 (INTERIOR ENTRY DOOR)

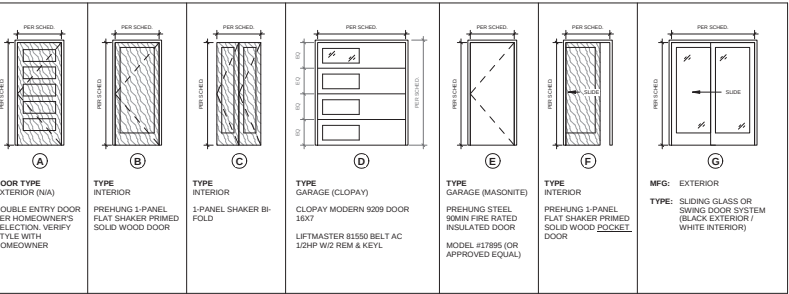
- (1) KWIKSET PISMO ROUND MATTE BLACK ENTRY DOOR KNOB FEATURING SMARTKEY SECURITY WITH MICROBAN ANTIMICROBIAL TECHNOLOGY MODEL #746PSKRDTS15ASMT
- (N/A) MASONITE HINGES PER 90 MIN FIRE RATED DOOR CLOSER
- (1) UNIVERSAL HARDWARE LIGHT-DUTY WHITE RESIDENTIAL DOOR CLOSER MODEL RUH4009

GROUP 05 (EXTERIOR ENTRY DOOR)

- (1) KWIKSET PISMO ROUND MATTE BLACK ENTRY DOOR KNOB FEATURING SMARTKEY SECURITY WITH MICROBAN ANTIMICROBIAL TECHNOLOGY MODEL #746PSKRDTS15ASMT
- (1) EVERBLT 3-1/2 IN. X 1/4 IN. RADIUS MATTE BLACK SQUEAK-FREE DOOR HINGE (3-PACK) MODEL #28256

LIGHT AND VENTILATION SCHEDULE

HABITABLE ROOM INFO		FLOOR AREA	GLAZING AREA (8% OF FL SF)		VENTILATION AREA (4% OF FL SF)	
ROOM #	ROOM NAME	SF	REQUIRED	PROVIDED	REQUIRED	PROVIDED
201	MASTER BEDROOM	290 SF	24 SF	84 SF	12 SF	30 SF
203	EN SUITE	73 SF	6 SF	10 SF	3 SF	10 SF
204	BATHROOM	53 SF	5	10 SF	3 SF	10 SF
205	BEDROOM	111 SF	9 SF	35 SF	5 SF	35 SF
206	BEDROOM	115 SF	10 SF	51 SF	5 SF	15 SF



WALL TYPES

EXISTING EXTERIOR WALL CONSTRUCTION. NEW 6" VERTICAL VINYL SIDING (COLOR: CHARCOAL). NEW 5/8" TYPE X GYPSUM AT INTERIOR SIDE OF WALL WHERE NECESSARY

EXTERIOR WALL - 2X6 WOOD STUD AT 16" O.C. - PROVIDE CLOSED CELL SPRAYFOAM INSULATION AT STUD CAVITY R-20 MIN). PROVIDE (1) LAYER OF 5/8" TYPE X GYPSUM AT INTERIOR SIDE OF WALL, AND 1/2" PLYWOOD AT EXTERIOR SIDE OF WALL WITH AIR/VAPOR BARRIER AND FINISH PER ARCHITECTURAL ELEVATIONS

5 1/2" WOOD STUD 16" O.C. WITH DOUBLE HEADER AND SILL MEMBERS. PROVIDE (1) LAYER 5/8" TYPE X GYPSUM SHEATHING AT EACH SIDE OF WALL (PROVIDE 5/8" MOISTURE RESISTANT GYPSUM BOARD IF LOCATED IN WET AREA. TAPE, MUD SAND AND PREP FOR PAINT OR TILE FINISH.

3 1/2" WOOD STUD 16" O.C. WITH DOUBLE HEADER AND SILL MEMBERS AND (1) LAYER 5/8" DRYWALL AT EA. SIDE OF STUD WALL. TAPE, MUD SAND AND PREP FOR PAINT FINISH.

3 1/2" WOOD STUD 16" O.C. WITH DOUBLE HEADER AND SILL MEMBERS AND (1) LAYER 5/8" DRYWALL AT EXPOSED SIDE OF STUD WALL ONLY. TAPE, MUD SAND AND PREP FOR PAINT FINISH.

1 1/2" WOOD STUD 16" O.C. WITH DOUBLE HEADER AND SILL MEMBERS AND (1) LAYER 5/8" DRYWALL AT EA. SIDE OF STUD WALL. TAPE, MUD SAND AND PREP FOR PAINT FINISH.

EXTERIOR WALL - 2X12 WOOD STUD AT 16" O.C. - PROVIDE CLOSED CELL SPRAYFOAM INSULATION AT STUD CAVITY R-20 MIN). PROVIDE (1) LAYER OF 5/8" TYPE X GYPSUM AT INTERIOR SIDE OF WALL, AND 1/2" PLYWOOD AT EXTERIOR SIDE OF WALL WITH AIR/VAPOR BARRIER AND FINISH PER ARCHITECTURAL ELEVATIONS

3 1/2" WOOD STUD 16" O.C. WITH DOUBLE HEADER AND SILL MEMBERS, ROCK WOOL 3" SAFEN/SOUND INSULATION, AND (2) LAYER 5/8" DRYWALL STAGGERED AT EA. SIDE OF STUD WALL. TAPE, MUD SAND AND PREP FOR PAINT FINISH.

DOOR GENERAL NOTES

- G.C. TO VERIFY ALL DIMENSIONS WITH PLANS AND ELEVATIONS.
- INCLUDE APPROPRIATE STAINLESS STEEL STRIKE PLATE WITH ALL HARDWARE SETS.
- ALL HARDWARE SHALL BE CAPABLE OF OPERATION WITH THE USE OF ONE HAND & SHALL NOT REQUIRE TIGHT PINCHING, GRASPING OR TWISTING OF THE WRIST TO OPERATE.
- THUMB-TURN DEADBOLTS ARE PROHIBITED - LEVER OR PADBLE DEADBOLT RELEASES ARE ACCEPTABLE.
- DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF INCH IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH SHALL HAVE A 1:2 BEVEL.
- PROVIDE NON-REMOVABLE PINS ON ALL OUT-SWINGING LOCKED DOORS.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- DOOR FRAMES TO BE SET FLUSH TO FLOOR SLAB. PROVIDE FOR 1/4" MAX. CAULK JOINT.
- DOOR WITH ACCESSIBLE PATH OF TRAVEL TO BE OPENABLE WITH A SINGLE EFFORT BY LEVER PANIC BAR OR PUSH/PULL HARDWARE AND SHALL NOT REQUIRE SPECIAL KNOWLEDGE TO OPERATE IN DIRECTION OF TRAVEL. DOOR OPENING HARDWARE TO BE BETWEEN 30" TO 44" A.F.F. EXCEPT AS PROVIDED BY CODE.
- DOOR CLOSERS TO BE ADJUSTED TO PROVIDE FOR A MAXIMUM EFFORT TO OPERATE OF 5 POUNDS FOR INTERIOR DOORS AND 85 POUNDS FOR EXTERIOR DOORS. EFFORT MAY INCREASE TO 15 POUNDS MAXIMUM AT FIRE DOORS. CLOSERS MUST ALLOW THREE SECONDS TO MOVE DOOR FROM A TO DEGREE OPEN POSITION TO A POINT 3" FROM THE LATCH. IF CONFLICT WITH CODE, FIRE & LIFE SAFETY CODE SHALL PREVAIL.
- HINGES ON ALL EXTERIOR HM MAN DOORS ARE TO BE STAINLESS STEEL.
- HOLLOW METAL FRAMES SHALL BE 18 G.A. PRESSED FLUSH TYPE WITH MITERED AND FULLY WELDED CORNERS. FRAMES ARE TO BE REINFORCED AND PREPARED FOR HARDWARE.
- HM DOORS ARE TO BE 18 G.A. FACTORY PRIMED STEEL, FLUSH TYPE WITH INSULATED WEATHER SEALED CORE, STIFFENING, HARDWARE REINFORCING, CLOSED TOP & BOTTOM CHANNELS, AND HANDED FOR INDICATED SWING. DO NOT USE UNIVERSAL TYPE DOORS.
- ALL EXTERIOR DOORS ARE TO BE FULLY WEATHERSTRIPPED INCLUDING A RAIN DRIP AND DOOR BOTTOM. HAVE ACCESSIBLE THRESHOLDS AND CONCRETE LANDINGS (OR SIDEWALK). EXTERIOR DOORS OPENING ON TO TRAFFIC AREAS ARE TO BE PROTECTED BY PIPE BOLLARDS.

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847.627.1550 info@coorlasarchitecture.com
www.coorlasarchitecture.com

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REGISTERED ARCHITECT
STEPHEN COORLAS
EXP: 11-30-2025

DESIGN FIRM REGISTRATION
FIRM 008829-0001
COORLAS ARCHITECTURE PLLC
EXP: 04-30-2025

DATE: 01-31-2025

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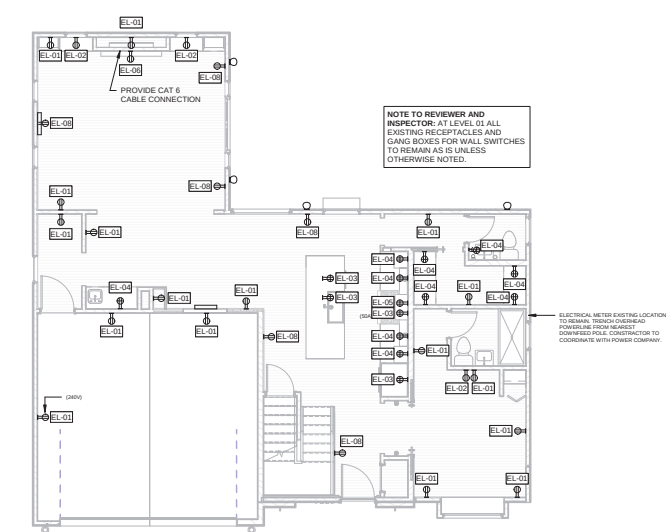
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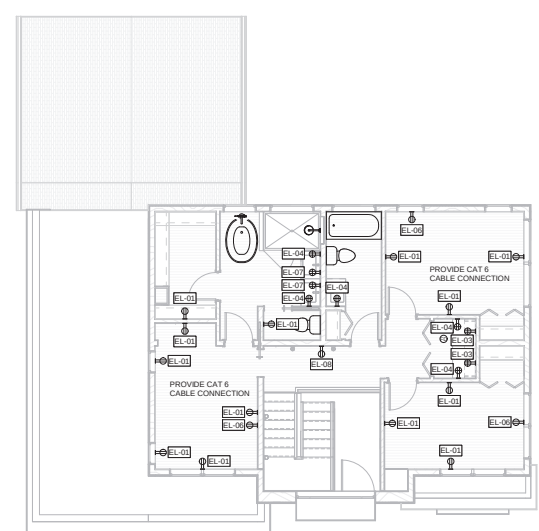
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DOOR, WINDOW, & WALL
SCHEDULE

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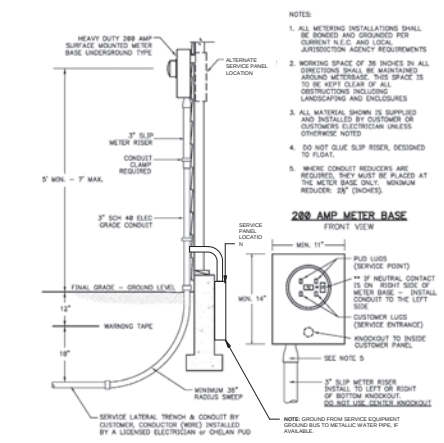
1 ELECTRICAL POWER PLAN - LEVEL 01
3/16" = 1'-0"



4 ELECTRICAL POWER PLAN - LEVEL 02
3/16" = 1'-0"

POWER SYMBOLS	
	SINGLE-POLE LUTRON CLARO ROCKER SWITCH, WHITE W/ WHITE NYLON SCREWLESS WALL PLATE (LEVITRON), MOUNT 42" A.F.F.
	SINGLE-POLE LUTRON DVA DIMMER SWITCH, WHITE W/ WHITE NYLON SCREWLESS WALL PLATE (LEVITRON), MOUNT 42" A.F.F.
	HORSE-POWER RATED SWITCH, SIZE PER EQUIPMENT MANUFACTURER'S AMPERE RATING, MOUNT ON OR ADJACENT TO EQUIPMENT BEING SERVED
	GENERAL DUPLEX RECEPTACLE (LUTRON CLARO), WHITE NYLON DUPLEX FACE W/ WHITE NYLON PLATE, MOUNT 18" A.F.F. OR AS NOTED.
	GROUND FAULT INTERRUPTER GENERAL DUPLEX RECEPTACLE (LUTRON CLARO SELF-TESTING), WHITE NYLON DUPLEX FACE W/ WHITE NYLON PLATE, MOUNT 18" A.F.F. OR AS NOTED.
	WEATHERPROOF / GROUND FAULT INTERRUPTER GENERAL DUPLEX RECEPTACLE, WHITE NYLON DUPLEX FACE W/ WHITE NYLON PLATE, MOUNT 18" A.F.F. OR AS NOTED.
	JUNCTION BOX, 4" x 4" x 1 1/2" MIN, SIZE AS REQUIRED
	THERMOSTAT
	NON-FUSED DISCONNECT SWITCH

- ELECTRICAL CODE NOTES**
- NOTE TO INSTALLER AND GC:**
- ALL OUTLETS SERVING KITCHEN COUNTERTOPS SHALL BE 20A GFCI PROTECTED, AND TAMPER PROOF, INCLUDING THE ISLAND
 - ALL NEW 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - ALL EXISTING RECEPTACLES AND GANG BOXES FOR WALL SWITCHES TO REMAIN AS IS UNLESS DETERMINED NON-COMPLIANT WITH MUNICIPAL ADOPTED CODE.
 - GC TO CONFIRM THAT EXISTING ELECTRICAL OUTLET SPACING COMPLIES WITH MUNICIPAL ADOPTED CODE, INCLUDING DISTANCE BETWEEN FIXTURES, PROXIMITY OF FIXTURES TO OTHER FEATURES, AND HEIGHTS OF FIXTURES FROM FLOOR AND/OR COUNTERTOPS
 - GC TO CONFIRM ALL EXISTING BATHROOM OUTLETS ARE GFCI TYPE.
 - ALL NEW BATHROOM OUTLETS TO BE GFCI
 - ALL RECESSED LIGHTING TO BE IC RATED.
 - MINIMUM 90% OF ALL PERMANENT LAMPS ARE TO BE HIGH EFFICACY.
 - ALL RECEPTACLES MUST BE TAMPER RESISTANT.



5 ELECTRICAL - 200A UNDERGROUND SERVICE DETAIL
1 1/2" = 1'-0"

ELECTRICAL GENERAL NOTES

- ELECTRICAL INSTALLATION TO BE IN ACCORDANCE WITH ALL RECENT COPIES OF THE LOCAL CODES, AND POWER UTILITY REQUIREMENTS. ALL WORK TO BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, TESTS, AND INSPECTION FEES.
- THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE BY THE ARCHITECT AND OWNER.
- ALL ELECTRICAL EQUIPMENT AND MATERIALS SHALL BEAR THE UNDERWRITERS LABORATORIES (UL), ALL EQUIPMENT SHALL BE NEW AND FIRST QUALITY.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY WIRING FOR HAND TOOLS AND CONSTRUCTION LIGHTING PER THE LATEST OSHA REQUIREMENTS.
- ALL DEVICE OPENING LOCATIONS AND HEIGHTS ARE TO BE VERIFIED PRIOR TO ROUGH-IN.
- ALL CONDUIT TO BE INSTALLED CONCEALED AND ALL DEVICE OPENING COVERPLATES TO BE FLUSH WITH FINISHED SURFACES WHENEVER POSSIBLE.
- THE ELECTRICAL CONTRACTOR IS TO REFER TO AND VERIFY ALL INSTALLATION CONDITIONS AND FINAL EQUIPMENT LOCATIONS WITH OWNER, ARCHITECTURAL OR MECHANICAL DRAWINGS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE AND OPERATING ELECTRICAL SYSTEM WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY FOR A SPECIFIC ITEM TO BE FURNISHED, INSTALLED OR WIRED ON THE ELECTRICAL DRAWINGS. THE ELECTRICAL CONTRACTOR WILL BE COMPLETELY RESPONSIBLE FOR ALL PURCHASES AND LABOR FOR A COMPLETE AND OPERATING SYSTEM FOR THIS ITEM.
- ANY MENTION OF SPECIFIC VOLTAGE, LOAD, MOUNTING, ARRANGEMENTS, HEIGHTS OR LOCATIONS ON THE ELECTRICAL DRAWINGS DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THE SPECIFIC REQUIREMENTS PRIOR TO PURCHASE OR ROUGH-IN.
- ALL INSTRUMENTS, APPARATUS AND EQUIPMENT SHALL BE TESTED AND PROVED TO BE ELECTRICALLY AND MECHANICALLY FUNCTIONING WITHOUT DEFECTS. THE SYSTEM TO BE TESTED FOR GROUNDS OR SHORTS. SHORTED OR FAILED CONDUCTORS TO BE REMOVED AND REPLACED. ALL METERS, CABLES, TEST EQUIPMENT OR APPARATUS NECESSARY FOR MAKING ALL TESTS TO BE FURNISHED BY THE ELECTRICAL CONTRACTOR.
- ALL LINE VOLTAGE WIRE TO BE INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED.
- STANDARD CONDUIT SIZE FOR 120V 15A/20A LIGHTING AND OUTLETS IS 1/2" EMT WITH #14 WIRE. FOR 240V +20A USE #6 WIRING AND 3/4" EMT.
- ALL CONDUITS TO BE ROUTED PARALLEL OR PERPENDICULAR TO WALLS AND STRUCTURAL MEMBERS WITH 90-DEGREE BENDS WHERE REQUIRED AND SHALL BE RACKED. NO CONDUITS SHALL BE RUN ABOVE THE ROOF BAR JOISTS. JUNCTION AND PULL BOXES TO BE HELD TO A MINIMUM. ALL SUPPORTS TO BE MADE FROM STRUCTURAL MEMBERS. NO CONDUITS SHALL BE RUN EXPOSED HORIZONTALLY ON FINISHED WALLS.
- ALL FITTINGS, FASTENERS, STRAPS, ETC., MUST BE GALVANIZED STEEL, NO BLACK METAL. CADDY TYPE CLIPS WILL BE PERMITTED. STRAPS MUST BE BOLTED ON TYPE. SNAP ON TYPE STRAPS WILL NOT BE PERMITTED.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, UNCRATING, STORING, SETTING IN PLACE AND PROTECTION FROM DAMAGE, VANDALISM, THEFT OR WEATHER DURING CONSTRUCTION FOR ALL NEW EQUIPMENT FURNISHED BY THE ELECTRICAL CONTRACTOR AND BY OWNER TO THE ELECTRICAL CONTRACTOR.
- THE ELECTRICAL CONTRACTOR AND GENERAL CONTRACTOR ARE RESPONSIBLE TO COORDINATE NEW AND OR UPDATED SERVICES WITH COMED IN A TIMELY MANNER AS TO AVOID CONFLICT IN SEQUENCING OR PROJECT DELAYS.
- THE ELECTRICAL CONTRACTOR SHALL BALANCE THE PHASE LEGS OF ALL NEW PANELS OR DISTRIBUTION SECTIONS WITHIN A MAXIMUM 10% IMBALANCE.
- AS-BUILT DRAWINGS ARE TO BE SUBMITTED TO THE ARCHITECT BEFORE FINAL PAYMENT WILL BE ISSUED. AS-BUILT CHANGES SHALL BE MARKED ON PLANS AND INSTALLED TO THE ARCHITECT MARKED WITH PERMANENT RED INK IN A NEAT AND LEGIBLE FORM.
- ALL PANELS TO HAVE TYPED DIRECTORIES INSTALLED PRIOR TO FINAL INSPECTION WITH CIRCUIT LABELED AND TAGGED.
- MAXIMUM NUMBER OF CONDUCTORS IN A CONDUIT INCLUDING THE GROUND WIRE IS NINE (9).
- CONDUITS AND ELECTRICAL RACEWAYS ARE NOT TO BE SUPPORTED OR ATTACHED TO SUSPENDED CEILING GRID "T"-BARS OR CEILING SUPPORT WIRES.
- ALL CONDUIT TO BE RUN OVERHEAD, UNLESS OTHERWISE NOTED ON THE DRAWINGS OR PLANS.
- NO CONDUITS TO BE RUN THROUGH HVAC AIR DUCTS.
- FLEXIBLE METAL CONDUIT (GREENFIELD) AND LIQUID-TIGHT METALLIC AND NON-METALLIC CONDUIT (SEALTITE) SHALL HAVE A MAXIMUM LENGTH OF 6'-0" AND INCLUDE A GROUND CONDUCTOR. MINIMUM SIZE IS 1/2" EXCEPT FOR LIGHT FIXTURES WHERE 3/8" WILL BE PERMITTED.
- ALL JUNCTION OR PULL BOXES ABOVE THE SUSPENDED LAY-IN CEILING TO BE MOUNTED 6" ABOVE THE CEILING LINE AND IN AN ACCESSIBLE LOCATION.
- NO CONDUITS SHALL BE ROUTED ON THE ROOF. THE ELECTRICAL CONTRACTOR SHALL COORDINATE PENETRATIONS WITH THE MECHANICAL PIPE CURBS, WHERE CONDUIT MUST BE RUN ON THE ROOF, IT SHALL BE RACKED WITH OTHER TRADES WHERE POSSIBLE OR PROVIDED WITH ITS OWN ROOF RACK SUPPORT SYSTEM WITH PROPER ROOF PLATE SO AS NOT TO CAUSE DAMAGE TO THE ROOF COVERING.
- FINAL EQUIPMENT CONNECTION TO PILOT CONTROL DEVICES SHALL BE MADE WITH 1'-0" MINIMUM LENGTH OF FLEXIBLE CONDUIT OR SEALTITE CONNECTION, IE: SOLENOID VALVES, MOTORIZED DAMPERS, ETC.
- RECEPTACLES INDICATED FOR "GFI" PROTECTION SHALL PROTECT RECEPTACLE INDICATED ONLY. AT LOCATIONS WHERE "GFI" RECEPTACLES ARE INDICATED WITHIN 5'-0" AND IN SIGHT OF EACH OTHER, ELECTRICAL CONTRACTOR MAY ELECT TO USE ONE FEED THROUGH "GFI" RECEPTACLE TO FEED "SLAVE-GFI RECEPTACLES". "GFI" CIRCUIT BREAKER WILL NOT BE PERMITTED TO PROTECT RECEPTACLES INDICATED FOR "GFI" PROTECTION.

ELECTRICAL FIXTURE SCHEDULE	
TYPE	DESCRIPTION
EL-01	MOUNT 12" A.F.F.
EL-02	COORDINATE ELEVATED MOUNTING HEIGHT FOR DEVICE OR APPLIANCE
EL-03	GFCI OUTLET MOUNTED IN ARLINGTON DVFR1W-1 RECESSED ELECTRICAL OUTLET MOUNTING BOX, SINGLE GANG, COORDINATE AMPERAGE REQUIREMENTS WITH APPLIANCE OR DEVICE
EL-04	GFCI OUTLET MOUNTED 9" ABOVE COUNTERTOP
EL-05	GFCI MOUNTED ELEVATED PER APPLIANCE RECOMMENDATION
EL-06	Amazon Basics Smart In-Wall Outlet, Works with Alexa Only, 2.4 GHz Wi-Fi, No Hub Required, White
EL-07	GFCI OUTLET MOUNTED BELOW COUNTERTOP FOR PLUG-IN VANITY DRAWER
EL-08	MOUNT 12" A.F.F. INTEGRATED MOTION SENSE LED LIGHT

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COORLAS
ARCHITECTURE

1001 SOUTH WYOMING AVE SUITE 100 CHICAGO, IL 60605
(847) 627-1560 info@coorlas.com
www.coorlasarchitecture.com

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REGISTERED ARCHITECT
STEPHEN COORLAS
EXP: 11-30-2025

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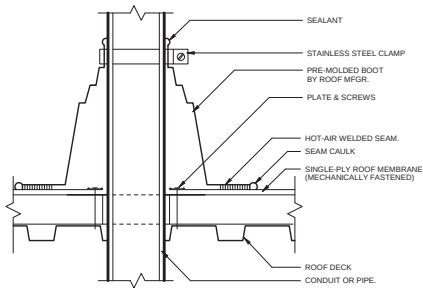
ELECTRICAL POWER PLAN

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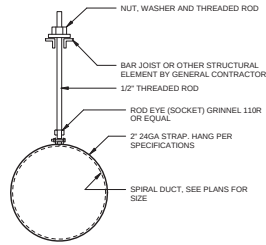
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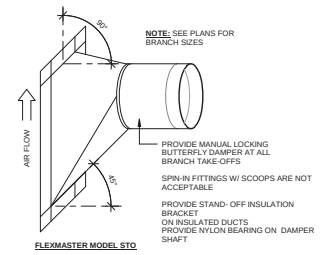
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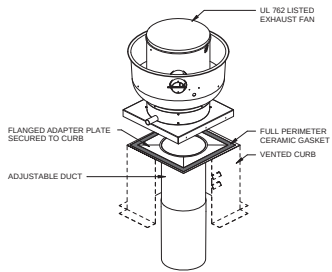
1 ROOF DETAIL - PIPE PENETRATION



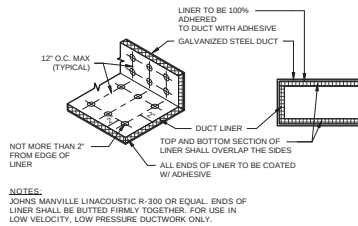
2 MECHANICAL DUCT DETAIL - SPIRAL DUCT HANGING DETAIL



3 MECHANICAL DUCT DETAIL - BRANCH DUCT FITTING DETAIL

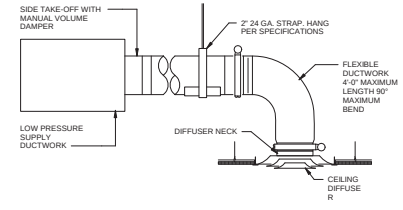


4 MECHANICAL DUCT DETAIL - DUCT TO FAN ADAPTER PLATE



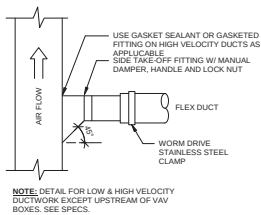
NOTES:
JOHNS MANVILLE LINACUSTIC R-300 OR EQUAL. ENDS OF LINER SHALL BE BUTTED FIRMLY TOGETHER. FOR USE IN LOW VELOCITY, LOW PRESSURE DUCTWORK ONLY.

5 MECHANICAL DUCT DETAIL - DUCT LINING DETAIL



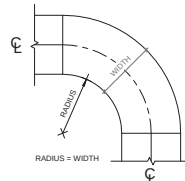
NOTE: DIFFUSERS INSTALLED IN DRYWALL HARD LID CEILINGS REQUIRE A RIGID CONNECTION. PROVIDE ROTO TWIST REMOTE DAMPER ADJUSTING CABLE.

6 MECHANICAL DUCT DETAIL - CEILING DIFFUSER CONNECTION DETAIL

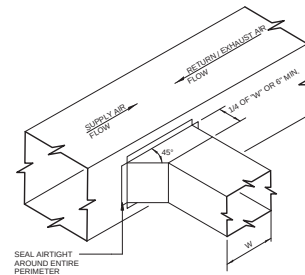


NOTE: DETAIL FOR LOW & HIGH VELOCITY DUCTWORK EXCEPT UPSTREAM OF VAV BOXES. SEE SPECS.

7 MECHANICAL DUCT DETAIL - ROUND DUCT TAKE-OFF



8 MECHANICAL DUCT DETAIL - RADIUS ELBOW DETAIL



9 MECHANICAL DUCT DETAIL - 45° DUCT TAKE-OFF

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(847) 627-1550 info@coorlasarchitecture.com
www.coorlasarchitecture.com

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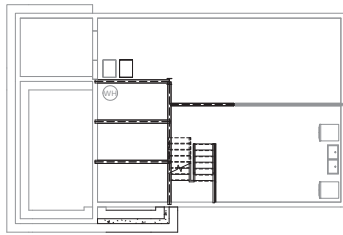
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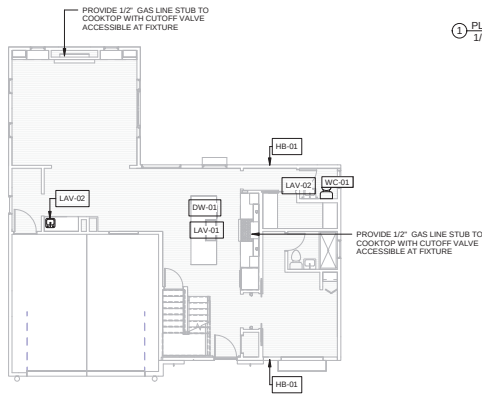
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MECHANICAL DETAILS

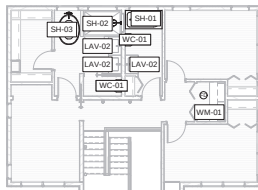
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3 PLUMBING FLOOR PLAN - BASEMENT
1/8" = 1'-0"



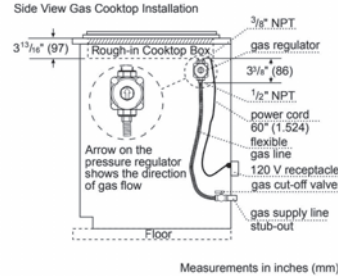
9 PLUMBING FLOOR PLAN - LEVEL 01
1/8" = 1'-0"



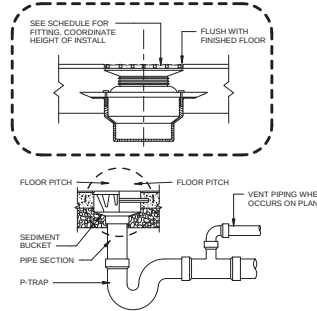
4 PLUMBING FLOOR PLAN - LEVEL 02
1/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

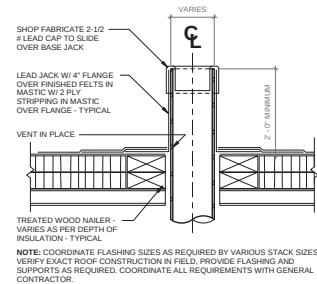
KEYNOTE	FIXTURE			FITTINGS			CONNECTIONS		CONNECTIONS		W.S.F.U.	MAX WATER CONSUMP.	REMARKS
	MFG.	MODEL	FINISH	MFG.	MODEL	FINISH	WASTE	VENT	HOT	COLD			
WC-01	KOHLER	HIGHLINE K-3519-T	WHITE	--	--	--	3"	2"	--	3/8"	(4 @ 3) 12	1.6 GPF	TYP. WATER CLOSET IN ALL BATHROOMS
LAV-01	TBD	TBD	TBD	TBD	TBD	TBD	2"	2"	3/8"	3/8"	5 @ 1 5	0.5 GPM	KITCHEN SINK - PROVIDE WATER FILTRATION SYSTEM
LAV-02	TBD	TBD	TBD	TBD	TBD	TBD	1 1/4"	1 1/4"	3/8"	3/8"	(5 @ 1) 5	0.5 GPM	VANITY TO HAVE SILVER HARDWARE INCLUDED
SH-01	AMERICAN STANDARD	Z39URH.020	WHITE	BOVEL	BOVEL	BOVEL	2"	1 1/2"	1/2"	1/2"	2	1.8	PROVIDE (59224C-02 1.5" TRIP LEVER KIT)
SH-02	TBD	TBD	TBD	TBD	TBD	TBD	2"	1 1/2"	1/2"	1/2"	2	1.8	
SH-03	TBD	TBD	TBD	TBD	TBD	TBD	2"	1 1/2"	1/2"	1/2"	2	1.8	FLOOR MOUNTED FAUCET
DW-01	TBD	TBD	TBD	TBD	TBD	TBD	3/4"	N/A	3/8"	N/A	1	3 GPM	DISHWASHER
B-LAV	N/A	N/A	N/A	N/A	N/A	N/A	2"	2"	3/8"	3/8"	3	0.5	EXISTING UTILITY SINK IN BASEMENT
WM-01	N/A	N/A	N/A	N/A	N/A	N/A	2"	2"	3/4"	3/4"	2	3.6	WASHING MACHINE IN CLOSET
HB-01	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1/2"	(2 @ 2.5) 5	9GPM	FROST PROOF EXTERIOR HOSE BIB
TOTAL WSFU							36				IL PLUMBING CODE 2014 PER SECTION 900 APPENDIX A TABLE N. 31 WSFU REQUIRES 1 1/4" WATER SERVICE AND 1" METER.		



3 COOKTOP GAS CONNECTION DETAIL



2 PLUMBING DETAIL - FLOOR DRAIN DETAIL
1" = 1'-0"



5 PLUMBING DETAIL - VENT THROUGH ROOF
3/4" = 1'-0"

PLUMBING GENERAL NOTES

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COORLAS
ARCHITECTURE

400 N. DEERFIELD RD. STE. 100, DEERFIELD, IL 60015
(847) 627-1550 info@coorlasarchitecture.com
www.coorlasarchitecture.com

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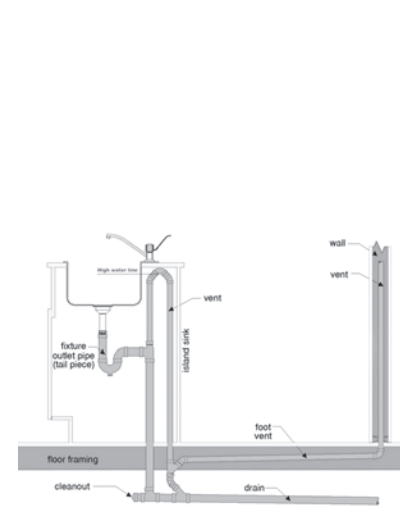
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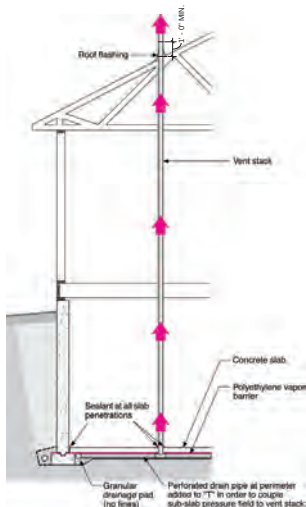
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PLUMBING FLOOR PLAN

P1.0



4 PLUMBING DETAIL - KITCHEN ISLAND SINK LOOP VENT
1 1/2" = 1'-0"



1 PASSIVE RADON SYSTEM DETAIL
1/4" = 1'-0"

PASSIVE RADON SYSTEM NOTES

- SEE STRUCTURAL DRAWINGS FOR LOCATION OF UNDERGROUND PERFORATED VENTILATION PIPE TO BE INSTALLED (MIN. 3 INCHES IN DIAMETER). THE SOLID PIPE WITH TRAPPED GASES IS THEN TO CONTINUE VERTICALLY WITHIN A WALL CAVITY AT A WARM PART OF THE HOUSE AND EXHAUST THROUGH THE ROOF. THE PIPE DISCHARGE SHOULD BE PROTECTED FROM SNOW DRIFTS AND IS TO EXTEND A MINIMUM OF 12" ABOVE THE TOP OF ROOF PENETRATION (REFER TO LOCAL SNOW FALL DATA FOR HEIGHT OF SNOW DRIFTS) AND 10 FEET AWAY FROM ANY OPENINGS IN THE BUILDING TO KEEP THE SOIL GAS FROM RE-ENTERING THE BUILDING.
- ALLOWING THE TRAPPED GASES TO TRAVEL VERTICALLY.

THE PERFORATED PIPE IS TO BE LOCATED IN A GRAVEL TRENCH OR A COLLECTION PIT ON TOP OF THE GRAVEL. INSTALL THE PERFORATED HORIZONTAL PIPE CONNECTING TO A FITTING ALLOWING THE TRAPPED GASES TO TRAVEL VERTICALLY.

PLACE THE POLYETHYLENE VAPOR BARRIER AROUND THE VERTICAL "T". THEN COVER THE OPEN TOP OF THE VERTICAL "T" AND LABEL THE PIPE AS PART OF THE RADON SYSTEM BEFORE PLACING THE CONCRETE. AFTER CURING, SEAL THE PERIMETER OF THE "T" TO THE CONCRETE TO ELIMINATE SOIL GAS ENTRY.

INSTALL THE VERTICAL PIPE BY CONNECTING IT TO THE VERTICAL "T". AVOID 90 DEGREE ANGLES IN THE VERTICAL PORTION OF THE PIPE. USE SWEEPS IF TURNS ARE NEEDED. LABEL THE PIPE ON EACH FLOOR SO IT IS CLEAR THE PIPE IS NOT PART OF THE SEWER SYSTEM. IF THE VENTILATION PIPE EXTENDS THROUGH AN UNCONDITIONED ATTIC, INSULATE THE STACK TO CONTROL CONDENSATION IN THE PIPE.

RUN THE PIPE THROUGH THE ROOF AND FLASH IT PROPERLY. PROVIDE A SCREENED CAP AT THE TERMINATION TO PREVENT ENTRY OF DEBRIS AND/OR NESTING ANIMALS.

NOTE: IMAGE FOR DIAGRAM PURPOSES ONLY. INSTALLER TO VERIFY WITH ARCHITECT EXACT WALL LOCATION AND ROOF PENETRATION FOR SOIL GAS EXHAUST PIPE PRIOR TO INSTALLATION

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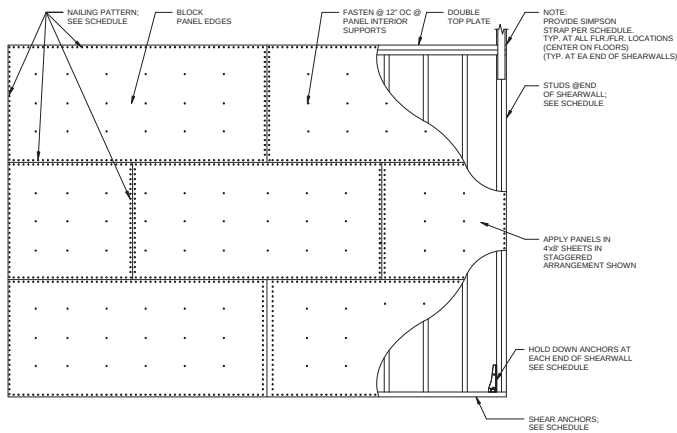
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PLUMBING DETAILS

P1.2



TYPICAL SHEARWALL ELEVATION

1 DETAIL - STRUCTURAL SHEER WALL
1/2" = 1'-0"

SHEARWALL SCHEDULE										
SHEAR WALL NUMBER	SHEATHING		NAIL SP. @ PANEL EDGES	NAIL SP. @ INTERIOR FIELD	SIMPSON HOLD DOWN @ FDN		SIMPSON STRAP @ FLOOR LEVEL		# STUDS @ ANCHOR	TYPICAL SHEAR BOLTS DIA. / SP.
	THICKNESS	SIDE			TYPE	ANCHOR BOLT	TYPE	ANCHOR BOLT		
SW-1	3/4"	ONE	88 @ 4" O.C.	88 @ 12" O.C.	HDL4-S032.5	NOTE 4	CS16	22-108	2	1/2" DIA @ 2'-0"
SW-2	3/4"	ONE	108 @ 4" O.C.	108 @ 12" O.C.	HDL4-S032.5	NOTE 5	CS16	22-108	3	1/2" DIA @ 2'-0"

SHEARWALL NOTES

- SEE "TYPICAL SHEARWALL ELEVATION" FOR ADDITIONAL INFORMATION.
- USE APA RATED PLYWOOD.
- SIZE AND SPACING OF SHEAR BOLTS ASSUMES SHEAR ANCHORS ARE EVENLY SPACED ALONG ENTIRE PLATE @ THE LINE WHERE THE SHEARWALL OCCURS.
- 5/8" HILTI HIT-Z ROD WITH HY200 ADHESIVE. EMBED 6" 5/8".
- 1" CAST IN PLACE HEX HEAD ASTM F 1554 GR. 36 ANCHOR. EMBED 12" WITH #4 BAR SUPPLEMENTAL TENSION REINFORCEMENT.

8 DETAIL - STRUCTURAL SHEER WALL SCHEDULE
1/2" = 1'-0"

COMPOSITE METAL DECK SCHEDULE									
MARK	DECK DEPTH	DECK GAUGE	DECK TYPE	Fy (KSI)	CONCRETE DEPTH	TOTAL COMPOSITE THICKNESS	CONCRETE PROPERTIES		REMARKS
							TYPE	FC (PSI)	
CS1	2"	26 GA.	VLI	3.0	3"	5"	NORM WT. 145 PCF	4000	W2 LWD.1 (W.W.R.)

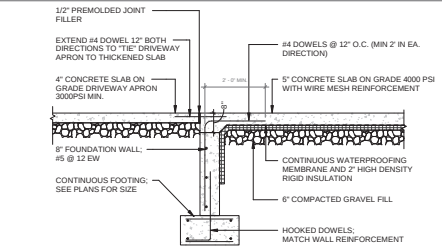
COMPOSITE METAL DECK NOTES

- CONCRETE TO HAVE MIN. 5% - 7% AIR ENTRAINMENT AT EXTERIOR CONC.
- METAL DECK TO BE 3 SPAN CONTINUOUS UNLESS OTHERWISE NOTED
- METAL DECK TO MEET MINIMUM PROPERTIES AS PER VULCRAFT CATALOGUE

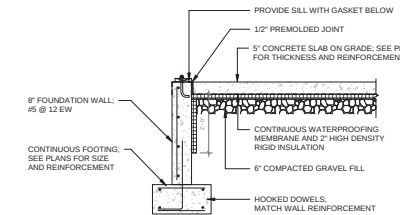
STEEL HEADED SHEAR STUD CONNECTORS

- SPACE TOTAL NUMBER OF SHEAR CONNECTORS EVENLY ALONG LENGTH OF BEAM, UNLESS NOTED OTHERWISE.
- WHERE DECK FLUTES ARE PARALLEL TO THE BEAM SPAN, MINIMUM CENTER-TO-CENTER SPACING SHALL BE AS INDICATED IN THE DETAIL 3C.
- WHERE DECK FLUTES ARE PERPENDICULAR TO THE BEAM SPAN, PLACE CONNECTORS AS FOLLOWS:
 - IF THERE ARE MORE SHEAR CONNECTORS REQUIRED THAN DECK FLUTES, BEGIN PLACING CONNECTORS AT THE ENDS OF BEAM SPAN AND PLACE ONE CONNECTOR IN EACH DECK FLUTE UNTIL REACHING THE MIDSPAN OF THE MEMBER. STARTING AGAIN AT THE ENDS OF THE BEAM SPAN, PLACE REMAINING CONNECTORS, ONE AT A TIME, IN EACH DECK FLUTE UNTIL ALL SHEAR CONNECTORS HAVE BEEN PLACED. FOR EXAMPLE, IF THERE ARE 30 CONNECTORS REQUIRED FOR A BEAM AND THERE ARE 24 FLUTES, PLACE TWO CONNECTORS PER FLUTE IN THREE FLUTES AT EACH END AND ONE PER FLUTE IN THE MIDDLE 18 FLUTES.
 - IF THERE ARE MORE DECK FLUTES THAN SHEAR CONNECTORS, BEGIN PLACING CONNECTORS AT THE ENDS OF THE BEAM SPAN AND PLACE ONE CONNECTOR IN EVERY OTHER FLUTE UNTIL REACHING THE MIDSPAN OF THE MEMBER. PLACE REMAINING CONNECTORS IN EMPTY FLUTES, BEGINNING AT THE ENDS OF THE BEAM UNTIL THE TOTAL NUMBER OF REQUIRED STUDS HAVE BEEN PLACED.
 - WHERE MORE THAN ONE CONNECTOR OCCUPY THE SAME FLUTE, PLACE CONNECTORS AS INDICATED IN THE DETAILS 3A AND 3B.
- CONTRACTOR TO DETERMINE SHEAR CONNECTOR LAYOUT AND SUBMIT FOR REVIEW AS PART OF THE COMPOSITE STEEL DECK SHOP DRAWING SUBMITTAL.

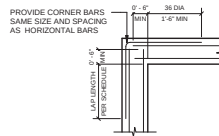
7 DETAIL - STRUCTURAL SCHEDULE - DECKING
1/2" = 1'-0"



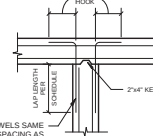
6 DETAIL - STRUCTURAL FOUNDATION WITH THICKENED SLAB EDGE
1/2" = 1'-0"



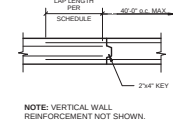
4 DETAIL - STRUCTURAL FOUNDATION WALL AND FOOTING - 8"
1/2" = 1'-0"



WALL CORNER

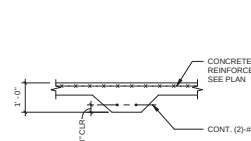


WALL INTERSECTION

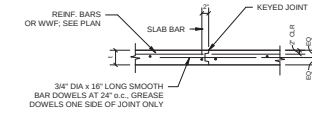


WALL CONST. JOINT

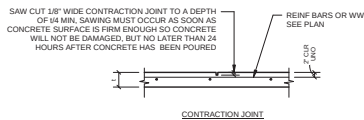
11 DETAIL - STRUCTURAL FOUNDATION INTERSECTION CONDITIONS
1/2" = 1'-0"



TYPICAL THICKENED SLAB DETAIL

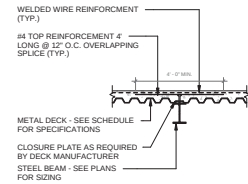


CONSTRUCTION JOINT

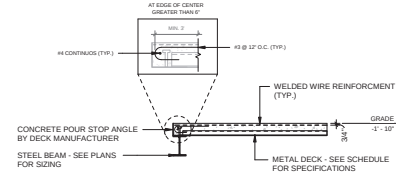


CONTRACTION JOINT

12 DETAIL - STRUCTURAL SLAB CONDITIONS
1/2" = 1'-0"

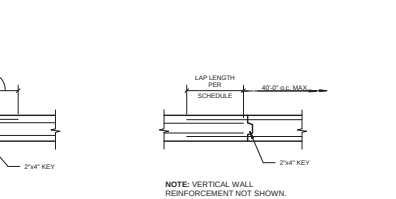


TYPICAL BEAM SPLICE DETAIL

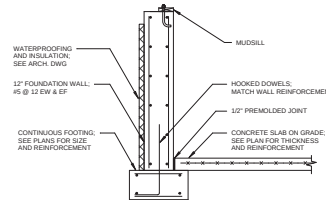


TYPICAL SLAB EDGE DETAIL

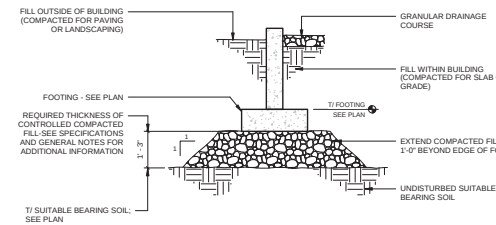
2 DETAIL - STRUCTURAL COMPOSITE DECK
1/2" = 1'-0"



TYPICAL COMPOSITE DECK DETAIL



TYPICAL 12" FOUNDATION WALL DETAIL



3 DETAIL - STRUCTURAL EXCAVATION (TYP)
1/2" = 1'-0"

SHEAR STUD NOTES

- SHEAR STUDS SHALL BE WELDED DIRECTLY TO THE BEAM OR AT TROUGH LOCATIONS ONLY.
- DECK SHALL NOT EXTEND BEYOND THE EDGE OF THE BEAM WHERE BEAM IS PARALLEL TO DECK.
- SINGLE SHEAR STUDS SHALL BE PLACED DIRECTLY ABOVE THE CENTERLINE OF THE BEAM.
- ALL REINFORCING STEEL SHALL BE SECURED IN PLACE ON CHAIRS TO MAINTAIN CLEAR COVER INDICATED ON DETAILS.
- CONDUIT PLACED IN THE SLAB PARALLEL TO THE DECK SHALL BE LIMITED TO (1) 1 1/4" DIA OR (2) 3/4" DIA. CONDUITS PER TROUGH (ALTERNATE TROUGHS ONLY).
- CONDUIT PLACED IN THE SLAB PERPENDICULAR TO THE DECK LARGER THAN 1/2" DIA. OR BUNDLED CONDUIT SHALL BE COORDINATED WITH THE ENGINEER.

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STRUCTURAL GENERAL DETAILS

S0.1

WOOD FRAMING GENERAL NOTES

- FRAMING VENDORS SHALL NOTE LOCATIONS OF ROOF MOUNTED EQUIPMENT OR PENETRATIONS AND ACCOMMODATE FRAMING TO PROVIDE APPROPRIATE STRUCTURAL OPENING.
- FRAMING VENDORS TO PROVIDE ALL COMPONENTS REQUIRED TO STRUCTURAL SECURE FRAMING ELEMENTS, INCLUDING BUT NOT LIMITED TO ANCHOR PLATES, FASTENERS, STRAPS, JOIST HANGERS, BOLTS, TIE-DOWNS, BRACKETS, ETC...
- ALL STRUCTURAL DESIGN, FABRICATION AND INSTALLATION SHALL CONFORM TO APPLICABLE BUILDING CODE, LOCAL CODES AND INDUSTRY STANDARDS.
- WOOD FRAMING VENDORS SHALL FIELD VERIFY ALL DIMENSIONS BEFORE INSTALLATION AND COORDINATE DESIGN WITH HVAC, DUCTWORK AND OTHER TRACES REQUIRING PASSAGE CLEARANCES OF IMPOSING CONCENTRATED LOADING ON STRUCTURAL ELEMENTS.
- FOR JOISTS BEARING ON FRAME WALLS, PROVIDE SOLID BEARING WITH FULL HEIGHT UN-SPICED CRIPPLE STUDS UNDER BEARING ENDS. DOOR AND WINDOW HEADERS AND CRIPPLES SHALL COMPLY WITH INDUSTRY STANDARD MINIMUM SIZES UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.
- IN AREAS OF CONVENTIONAL ROOF FRAMING, RAFTERS SHALL BE 2X12 AT 16" O.C. UNLESS OTHERWISE NOTED.
- FOR FRAMER'S REFERENCE, GYPSUM BOARD THROUGHOUT SHALL BE 5/8" TYPE X.
- FLOOR AND ROOF SHEATHING SHALL BE 1/2" PLYWOOD (TYP.), STAGGER JOISTS THROUGHOUT AND FASTEN TO STUDS AND JOISTS WITH INDUSTRY STANDARD SCREW PATTERN.
- REFER TO WALL TYPES FOR INTERIOR AND EXTERIOR STUD DIMENSIONS AND OVERALL WALL THICKNESS.
- ALL INTERIOR AND EXTERIOR FRAMED WALLS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURAL JOISTS ABOVE UNLESS OTHERWISE NOTED.
- PROVIDE MOISTURE BARRIER BUILDING WRAP ON WALLS AND MOISTURE BARRIER UNDERLAYMENT ON ROOF DECKING.
- ANCHOR EXTERIOR WALL SILL PLATES TO JOIST AND PLYWOOD FLOOR PLATFORM WITH 1/2" ANCHOR BOLT, NUT AND WASHER SPACED @ 48"
- FASTEN WOOD JOISTS AND/OR TRUSSES AT ALL STUD WALL BEARING POINTS WITH ANCHORAGE TO COMPLY WITH INDUSTRY STANDARD. NOTCH ROOF JOISTS TO SIT BALANCED ON EXTERIOR WALLS WITH DOUBLE HEADERS. FOR SPECIAL CONDITIONS, UTILIZE MANUFACTURER'S RECOMMENDED ANCHOR TYPES (SIMPSON OR APPROVED EQUAL). ALL NON-STANDARD CONNECTIONS ARE SUBJECT TO APPROVAL OF ARCHITECT/ENGINEER.
- FOR WET AREAS, PROVIDE MOISTURE RESISTANT GYPSUM BOARD.
- PROVIDE SPRAY FOAM CONTINUOUS INSULATION AT ALL EXTERIOR WALL AND ROOF JOIST CAVITIES. PROVIDE ACOUSTIC BATT OR SPRAY FOAM INSULATION AT FURNACE UTILITY CLOSET TO MITIGATE NOISE.
- PROVIDE 18 GA. RAFTER TIES AT ALL RAFTER INTERSECTIONS WITH LOAD BEARING WALLS (TYP.).
- PROVIDE FRIEZE BLOCKING AT ALL PERIMETER WALL TOP PLATE AND ROOF RAFTER CAVITY INTERSECTIONS (TYP.).
- PROVIDE STIFFING BLOCKING AT ALL VERTICAL WALLS TALLER THAN 8'-0" AT THE 8'-0" ELEVATION UNLESS SPECIFIED OTHERWISE.
- PROVIDE BLOCKING BETWEEN FLOOR JOISTS @ 5' ON CENTER.

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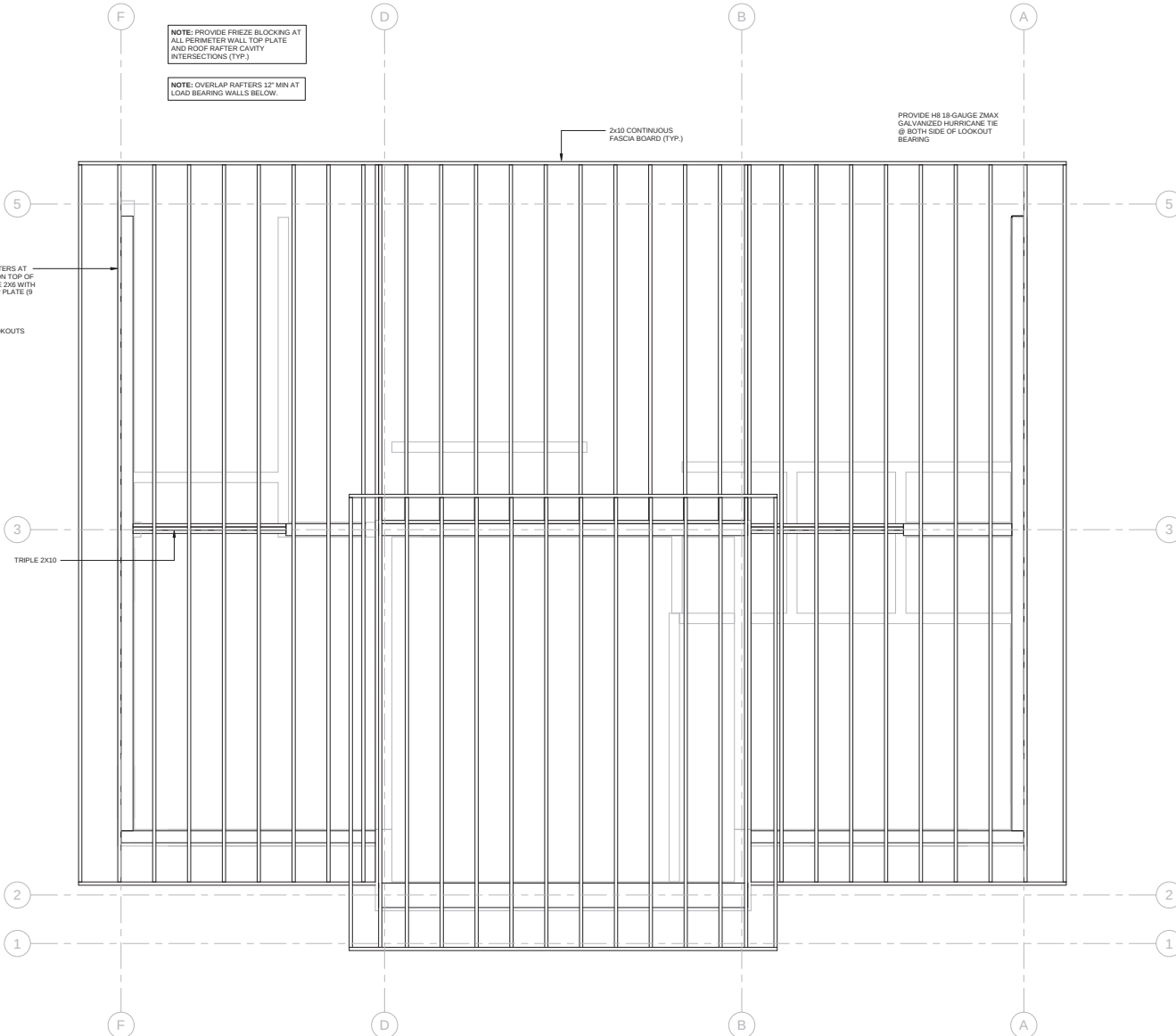
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STRUCUTRAL FRAMING - LEVEL
02

S1.1

① STRUCTURAL FLOOR PLAN - LEVEL 02
3/8" = 1'-0"



1 STRUCTURAL FRAMING ROOF PLAN
1/2" = 1'-0"

WOOD FRAMING GENERAL NOTES

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- PROVIDE BLOCKING BETWEEN FLOOR JOISTS @ 5' ON CENTER.

NOTE: 3D VIEW WITH WINDOWS AND WOOD FRAMING ELEMENTS IS FOR REFERENCE ONLY. FOR ACTUAL SEQUENCING OF MATERIAL INSTALLATION REFER TO GENERAL CONTRACTOR.

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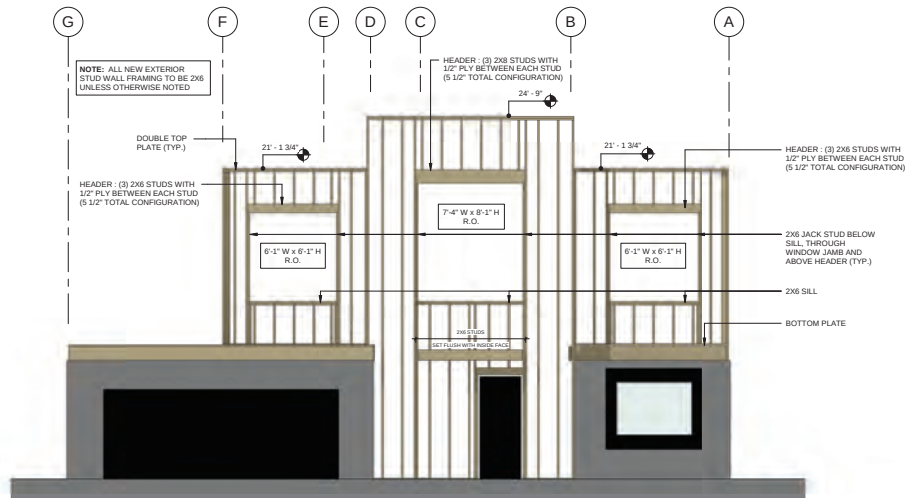
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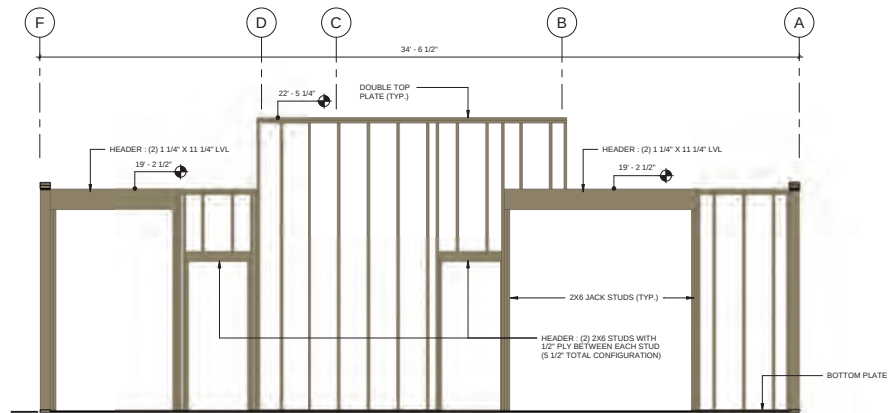
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STRUCTURAL FRAMING - ROOF
PLAN

S1.2



② STRUCTURAL FRAMING ELEVATION - NORTH
1/4" = 1'-0"



① STRUCTURAL ELEVATION - INTERIOR BEARING WALL
3/8" = 1'-0"

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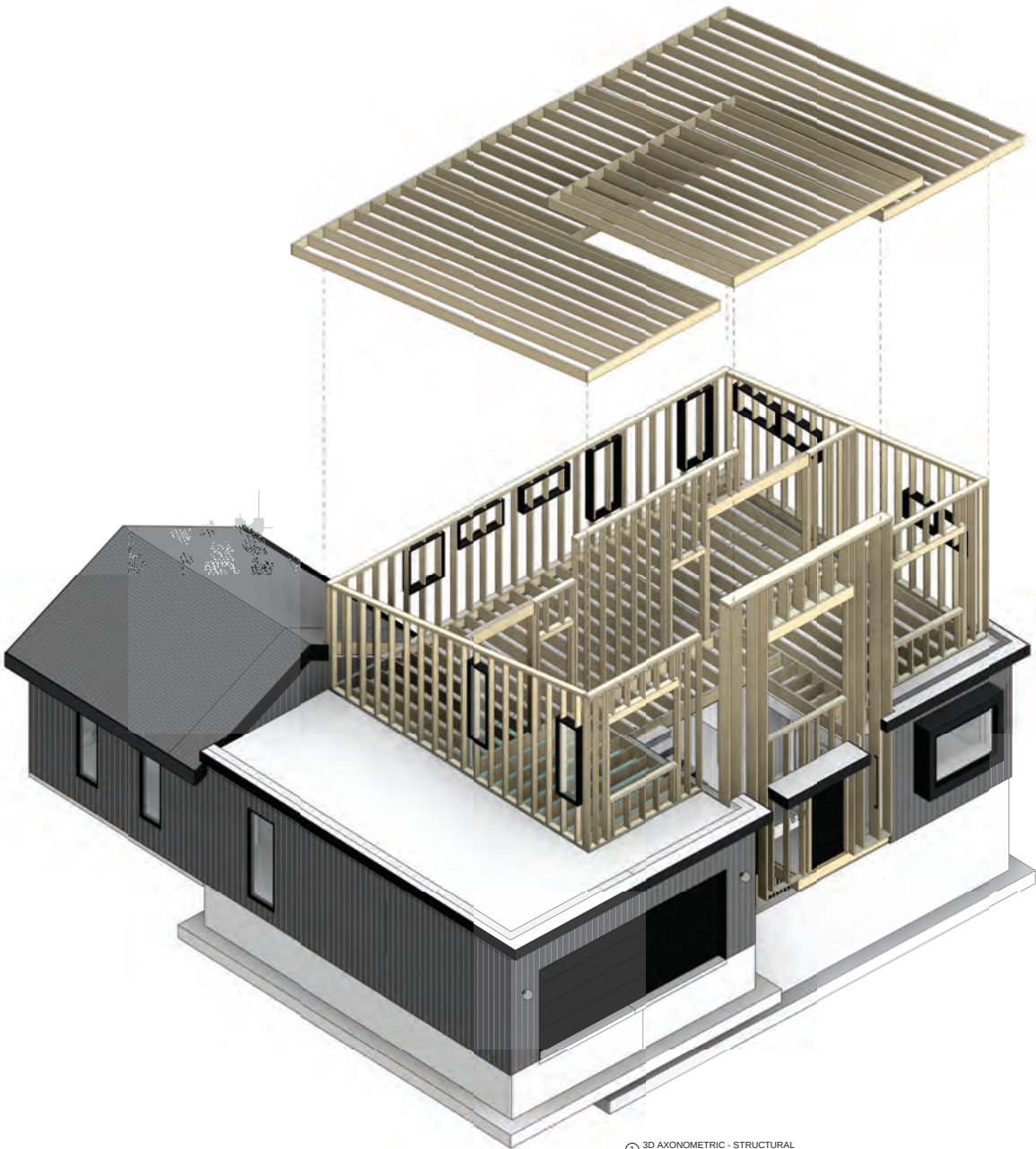
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STRUCTURAL FRAMING
ELEVATIONS

S2.0



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STRUCTURAL FRAMING 3D

3D AXONOMETRIC - STRUCTURAL

S2.1

Fixture, Finish & System Specifications

Item	Manufacturer	Product	Model #	Color/Finish	Website	Location/Rm/ Drawing Reference	SF/QTY	\$ Per Item/SF	Material Cost
Exterior									
General									
Siding		Double 5" Vertical Siding			https://www.gpvinylsiding.com/siding/georgia-pacific-vinyl-siding/double-5-soffit-and-vertical-siding/				
	Sto	Milano Fine			https://www.stocorp.com/wp-content/content/Products_Marketing/Finishes/Sales%20Sheets/SS_Stolit%20Milano_EN_web_S869.pdf				
Roofing	GAF	Royal Sovereign 3-Tab Shingles	201180	Charcoal	https://www.homedepot.com/p/GAF-Royal-Sovereign-Charcoal-Algae-Resistant-3-Tab-Roofing-Shingles-33-33-sq-ft-per-Bundle-26-Pieces-0201180/100040028			\$30.00/bundle	
Soffit	Worthouse	Wood Grain PVC		Golden Oak	https://worthouse.com/pvc-soffit/				
Garage Door	Clopay				https://www.clopaydoor.com/reserve-modern-contemporary-garage-doors				
Garage Door Motor	Chamberlain	3/4 HP Smart Quiet Belt Drive Opener	B4505T		https://www.homedepot.com/p/Chamberlain-3-4-HP-Smart-Quiet-Belt-Drive-Garage-Door-Opener-B4505T/316307827			\$248.00/unit	
Entry Door	Simpson	4 Panel Solid Wood Door	7284 Traditional		https://www.simpsondoor.com/find-a-door/doors/7284?quotelD=5bb7aa9f-81c3-452a-afed-11d61ba3cc23	100A			

Interior

General									
Flooring	NuCore	Cedar Point Waterproof Rigid Core Luxury Vinyl Plank			https://www.flooranddecor.com/nucore-flooring/cedar-point-waterproof-rigid-core-luxury-vinyl-plank---cork-pad-101076313.html?srsitid=AfmBOord5MMP!IG3cZ2N2W-JJmSW\$syblsHmkoxuE-sslyBHguKkw5v				
Handrail	Cable Bullet	Signature Series Collection		Black	https://www.cablebullet.com/collections/signature				
	CityPost and Rail	Cable Railing		Black	https://citypost.com/collections/cable-railing?gf_477102=Black				
Handrail Bracket	Bold MFG	Minimal Bracket		Black	https://www.boldmfg.com/products/minimal-handrail-bracket?variant=39658202431582				
Doors - Study Room	Ark Design			Black	https://www.homedepot.com/p/ARK-DESIGN-60-in-x-96-in-Paneled-3-Lite-White-Primed-MDF-Multi-Design-Sliding-Door-with-Hardware-SD-XB-96-60/333136018	Living Room - 105A			\$638.00
Doors - Pantry	CALHOME	3/4 Lites Frosted Glass Black Steel Frame Sliding Barn Door	GSB-002-FROST		https://www.homedepot.com/p/CALHOME-24-in-x-84-in-3-4-Lites-Frosted-Glass-Black-Steel-Frame-Interior-Sliding-Barn-Door-with-Hardware-Kit-and-Door-Handle-GSB-002-FROST-24INCH/325774717	Pantry - 108A			

Door Stops	Design House	Oil Rubbed Bronze Dome Door Stop (5-Pack)	181891		https://www.homedepot.com/p/Design-House-Oil-Rubbed-Bronze-Dome-Door-Stop-5-Pack-181891/303441622				\$19.86
Smart Thermostat	ecobee	Smart Thermostat Premium with Smart Sensor	EB-STATE6-01		https://www.homedepot.com/p/ecobee-Smart-Thermostat-Premium-with-Smart-Sensor-and-Air-Quality-Monitor-Wifi-Works-with-Siri-Alexa-Google-Assistant-EB-STATE6-01/319478899		2		\$243.16
Rocker Switches	Leviton	Decora 15 Amp Single Pole Rocker AC Quiet Light Switch	M32-05601-2WM		https://www.homedepot.com/p/Leviton-Decora-15-Amp-Single-Pole-Rocker-AC-Quiet-Light-Switch-White-10-Pack-M32-05601-2WM/202204204				\$19.98
Smart Switches	Lutron	Caseta Wireless Smart Lighting Dimmer Switch	DVRF-BDG-1DP		https://www.amazon.com/Lutron-Lighting-Pedestal-Required-DVRF-BDG-1DP/dp/B0B5HZ2CTD?tag=denniscostoc-20&pd_rd_w=FQT77&content-id=amzn1.sym.55c0153f-1fb7-42ff-8241-d1c0f3732289&pf_rd_p=55c0153f-1fb7-42ff-8241-d1c0f3732289&pf_rd_r=RBBEXBYX884XQT6BSZ7&pd_rd_wg=ocupq&pd_rd_r=1a20bad5-175d-431e-8358-9d6a142c7a2a&ref=sspa_dk_detail_img_1&sp_csd=d2lk22V0TmFtZT1zcF9kZXRhZWxfGhlfWF0aWM&th=1&geniuslink=true				
Motion Sensor Light/Socket	Motion Sensor Light/Socket	SnapPower	GuideLight 2 for Outlets		https://www.amazon.com/Pack-GuideLight-Plug-Electrical-Receptacle/dp/B0BQD2QHPR/ref=sr_1_5?tag=denniscostoc-20&crd=3KBGEAYLCWONA&dib=eyJ2IjojMSJ9.woUODbH7TxQFThnFUCUGS1j0EarBMEytAzuYhm94syRg8I4_2lc3WrmE6vyrnCa5cgIFO86s6OIT0jDrGErIMEwcHms4aZilcGFnABuo0GbIOXkSA1O3atijC7ltAq6mg11K1mVu_1hs53v4DR64qirF8ZLnmgpRqfOC7aC8f93qQ-KTpAe23amCrCJBsacvpuedHCQwelH8StlxLXOhWYclbN_b5ZAmPC2I7AQUniwDqvdGZjE-8b0yqaQbvmLb6lkQ-fvtFlc9w-3zQcJXGCVpH-gqhs892TY7yqrGyT9g.SCqzdIRBldpndAMVEkkde3_8S5vHpSVXQaHZMm65hhc&dib_tag=se&keywords=snap%20power%20outlet%20lights&qid=1709660135&srefix=snap%20power%20.aps.123&sr=8-5&th=1&geniuslink=true				
Water Leak Sensor	Govee	Wi-Fi Water Sensor 3 Pack	H5040		https://www.amazon.com/Detector-Wireless-Notification-Security-Basement/dp/B07J9HZ5VN/ref=sr_1_5?tag=denniscostoc-20&crd=3TE64GUR9IHUV&dib=eyJ2IjojMSJ9.uTa8Jh2Wlp25lmRj7SJXDOTPep3jdgngtAZI2i2h2BRKY_rBkfOwemdXCjJE0Gr7D8emAz0blrXBO4ZYQgeAewkeraaXVPyMUhVtMv5fVWypWXgwoGVErwi6De_mwlGgFPyEwKS7QzACSi_2MHcEC0k830GYj_Yq8Ob6OnwrnfisIZLHtFECLgdpp2iL3Wb-wV-R7VPb2kQk2MZrVCTMAuAqkWK_bQSnzcK2J8PkHVNwX4csh2RgtVLgw6kItiR6oVYagGcNqDYgKuahqYgZPW9laRxGLKqdSDgeUNMgc.xi-pqZT6c7B_jciwdkSa0V2hqO3pCj-8MH-LXm-3fu4&dib_tag=se&keywords=water%20leak%20sensor&qid=1730818329&srefix=water%20leak%20sensor.aps.143&sr=8-5&th=1&geniuslink=true				
Shelves/Cabinets schedule below					Repurpose Cabinets and Shelves	Pantry & Bar			
Kitchen									
Cabinet Schedule Below									
Countertops	Surfaces by Pacific	Quartz			Calacatta				
Backsplash		Coco White Glossy Porcelain Wall Tile (2" x 6")			https://www.tileshop.com/products/coco-white-glossy-porcelain-wall-tile-2-x-6-in-484212				

Sink					Repurpose existing sink				
Faucet (Washing + Drinking)	MOEN	Align Single-Handle Pre-Rinse Spring Pull-Down Sprayer Kitchen Faucet with Optional 3-in-1 Water Filtration	F5923BL	Black	https://www.homedepot.com/p/MOEN-Align-Single-Handle-Pre-Rinse-Spring-Pull-Down-Sprayer-Kitchen-Faucet-with-Optional-3-in-1-Water-Filtration-in-Black-F5923BL/330784889	LAV-01			
Water Filter	Kraus	KRAUS Purita 2-Stage Carbon Block Under-Sink Water Filtration System with Digital Display Monitor, FS-1000, White		N/A	https://www.homedepot.com/pep/KRAUS-Purita-2-Stage-Under-Sink-Water-Filtration-System-with-Digital-Display-Monitor-FS-1001/332425662?clickid=W8t01FVwSxyKT7s0FoTXVTmBUks0MhzUE0w2wU0&irgwc=1&cm_mmc=afl-ir-78091-456723-		1	179.95	
Garbage Disposal	InSinkErator	Badger 500 W/C 1/2 HP Continuous Feed	Badger 500 W/C		https://www.homedepot.com/p/InSinkErator-Badger-500-W-C-1-2-HP-Continuous-Feed-Kitchen-Garbage-Disposal-with-Power-Cord-Standard-Series-Badger-500-W-C/300496821				
Air Switch	Akicon	Air Switch with Air Hose	AK79001-MB	Matte Black	https://www.homedepot.com/p/Akicon-Matte-Black-Garbage-Disposal-Air-Switch-with-Air-Hose-AK79001-MB/326314474#overlay				\$21.07
Refrigerator					Repurpose existing fridge and panel				
Drinks Fridge - Bar	Insignia	130-Can Beverage Cooler	NS-BC130GP1	Silver	https://www.bestbuy.com/site/insignia-130-can-beverage-cooler-silver/6405496.p?skuld=6405496				\$309.99
Microwave Drawer	KitchenAid	24" 1.2 Cu. Ft. Built-In Microwave Drawer	KMBD104GSS	Stainless Steel	https://www.bestbuy.com/site/kitchenaid-24-1-2-cu-ft-built-in-microwave-drawer-stainless-steel/6191502.p?skuld=6191502				\$1,799.99
Range					Reuse Existing Range				
Hood Vent Exhaust	ZLINE	36" Externally Vented Convertible Wall Range Hood		Brushed Stainless Steel	https://www.bestbuy.com/site/zline-36-inches-externally-vented-convertible-wall-range-hood-brushed-stainless-steel/6373317.p?skuld=6373317				
Decorative Hood - In Cabinet Schedule Below									
Over range lighting	West Elm	Adele LED Sconce (16")			https://www.westelm.com/products/adele-led-sconce-h13125/	kitchen, over oven, 4.07	2		\$199.00
Motion Sensor Light/Outlet	SnapPower	GuideLight 2 for Outlets			https://www.amazon.com/Pack-GuideLight-Plug-Electrical-Receptacle/dp/B0BQD2QHPR/ref=sr_1_5?tag=dennismcomstoc-20&crd=3KBGEAYLCWONA&dib=eyJ2IjojMSJ9.woUODbH7TxQFThnFUCUGS1j0EarBMEytAzuYhm94syRg8j4_2lc3WrmE6vrnCa5cglFO86s6OIT0jDrGErIMEwcHms4aZilcGFnABuo0GblOXkSA1O3atjC7ltAq6mg11K1mVu_1hs53v4DR6qirF8ZLnmgpRqfOC7aC8f93qQ-KTpAe23amCrCJBsacvpuedHCQwelH8StlxLXQhWYcibN_b5ZAmPC217AQunJwDqvdGZiE-8b0yqaQbvmLb6JkQ-fvtFlc9w-3zQcJXGCVpH-gqhs892TY7yqrGvT9g.SCqzdiRBldpndAMVEkkde3_8S5vHpSVXQaHZMm65hhc&dib-tag=se&keywords=snap%20power%20outlet%20lights&qid=1709660135&prefix=snap%20power%20,aps,123&sr=8-5&th=1&geniuslink=true	EL-02			

Sink soap pump/Soap dispenser tube kit	GICASA	Sink Soap Dispenser Extension Tube Kit			https://www.amazon.com/dp/B07SJ8SQ6Q?tag=dennismcomstoc-20&asc_item-id=amzn1.ideas.3PPC1OHZDZMHA&ref=aip_sf_list_spv_ofs_mixed_d_asin&geniuslink=true&th=1				
Pull out trash/ Recycle Bin	Rev-A-Shelf		1835SCDM-217		https://www.amazon.com/dp/B00VI795EQ?tag=dennismcomstoc-20&asc_item-id=amzn1.ideas.3PPC1OHZDZMHA&ref=aip_sf_list_spv_ofs_mixed_d_asin&geniuslink=true		1		
Ensuite Master									
Tile- Shower Wall		Coco Canvas Glossy Porcelain Wall Tile, 2" x 6"	484214		https://www.tileshop.com/products/coco-canvas-glossy-porcelain-wall-tile-2-x-6-in-484214?utm_source=google&utm_medium=organic&utm_content=surfaces_across_google&cca=PleaseAssignDimCat&utm_source=Google&utm_medium=cpc&utm_campaign=CM4_Google_Retail_General-Store_NB_DMT_US_Prospecting_PMaxShopping_D_D_Sales&utm_term=&utm_content=&gad_source=1&gclid=CjwKCAiAzPy8BhBoEiwAbnM9O8Xr0gF1fZooW8l8Rr6bxXjLrIX2_B6v7dWikZt0juFNgSEk-p4tyRoCca8QAvD_BwE				
Tile Shower Pan		Calacutta Bianco Polished Hex Porcelain Mosaic Tile, 2"	681656		https://www.tileshop.com/products/calacutta-bianco-polished-hex-porcelain-mosaic-wall-and-floor-tile-2-in-681656				
Floor		Urban Grey Porcelain Wall and Floor Tile, 24" x 24"	683137		https://www.tileshop.com/products/urban-grey-porcelain-wall-and-floor-tile-24-x-24-in-683137				
Vanity	Breakwater Bay	Saur 54" Freestanding Double Bathroom Vanity with Engineered Stone Vanity Top	W009629064		https://www.wayfair.com/Breakwater-Bay--Saur-54-Freestanding-Double-Bathroom-Vanity-with-Engineered-Stone-Vanity-Top-X110730175-L151-K~W009629064.html?refid=GX712337290046-W009629064_1679904857&device=m&ptid=2387421656779&network=g&targetid=aud-975242143339:pla-2387421656779&channel=GooglePLA&ireid=281685894&fdid=1817&PiID%5B%5D=1679904857&gad_source=1&gclid=CjwKCAiAzPy8BhBoEiwAbnM9O-b9iqQx4w_g1SnUB4XBHUSat834abUFcC99_xrx00hTeLF7UKXicRoCcEwQAvD_BwE				
Faucet Master & Kids	Delta	Trinsic Single Handle Bathroom Faucet	559LF-BLMPU	Black	https://www.build.com/product/summary/2035967?uid=4883551&imtest=gg-gbav2_4883551&inv2=1&&source=gg-gba-pla_4883551lc1704086354la66021778705ldm!ng&gad_source=1&gclid=Cj0KCQiA4-y8BhC3ARIsAHmjC_H3zWzghGyOEYS9OvO18GE-xTa2qyZDfsW1j8BK1UWN0t5lvWYSZPUaAq4EEALw_wcB&gclsrc=aw.ds	LAV-02 Ensuite and Kids Bathroom			
Mirror	Wrought Studio	Dibbrun Frameless Lighted Bathroom Mirror with Anti-Fog LED	W100150104		https://www.wayfair.com/decor-pillows/pdp/wrought-studio-dibbrun-frameless-lighted-bathroom-mirror-anti-fog-led-wall-mirror-w100150104.html?piid=895961737%2C902978308				
Tub		Mia Acrylic Double Ended Freestanding Tub, 47"		White	https://www.houzz.com/products/mia-acrylic-double-ended-freestanding-tub-white-matte-black-drain-47-inch-prvw-vr~179253633			\$429.45	

Shampoo Nook	Schluter Systems	Kerdi-Board-Sn 12x20	KB12SN30550 8A1	N/A	https://www.flooranddecor.com/shower-systems-installation-materials/schluter-kerdi-board-sn-foam-board-shower-niche-100039171.html				
Tub Standing Faucet		Freestanding Tub Faucet with Hand Shower		Matte Black	https://a.co/d/fc7a7M9				
Tub Drain	Artiwell	Trip Lever Tub Trim Kit	B09BB18YFY	Matte Black	https://www.amazon.com/dp/B09BB18YFY?starsLeft=1&ref=cm_sw_r_cso_cp_a_pin_dp_ZWQJER3568HWFQRM8T45&th=1				
Tub Drain Linkage	Artiwell	Tub Drain Linkage Assembly, Solid Brass	B09B9YN4C6		https://www.amazon.com/dp/B09B9YN4C6?starsLeft=1&ref=cm_sw_r_cso_cp_a_pin_dp_NVPS6JP666ZYXW7AAHF0&th=1				
Valve	Moen	Posi-Temp Rough-In Valve	2520		https://www.amazon.com/dp/B000YLO96G?starsLeft=1&ref=cm_sw_r_cso_cp_a_pin_dp_5GKDJM4RZY4R2AKEASNM				
Shower Pan	Tile Redi	48x60Redi Base® Single Curb Shower Pan With Center Drain	P4860C-PVC-48x60-4.5-4.5		https://tileredi.com/collections/shower-pans-and-bases/products/single-curb-shower-pan-with-center-drain-48x60-p4860cpvc22x304545				
Shower Head	ALFI brand	Stainless Steel 24" Square Ultra-Thin Rain Shower Head	RAIN24S-BM	Black Matte	https://www.amazon.com/ALFI-brand-RAIN24S-BM-Shower-Black/dp/B08PHNXBN2/ref=sr_1_4?crid=CKZNAAT7NPQY&dib=eyJ2IjojMSJ9.oeEMRZ6HMXpl7dYMcI66HzBfQbmTujifgTafeni-ppylA8PedA1DmIKHczbBM3Bc5C34UukmIFuGlcG4JaLm_wHPNqKG07jQU-IKJaJO3yBpk_DogNQzxyfGllN94xvnCh69aIQXcyHvlfAABq78oG8knPaMUZYn07LfSRDw- jsBx72HPWwT52zpwvKyVeFLx79whn598jY_6StEumDiQKbiitUBwSul757sNRcOksbiiL0TWApU8p-ogI19n-IDKUX3SvQQR9bvpke4KuLfyoVI9dcGnvapU_l_jlGgQKGbHAXhJ6aVGOF1r-SX4LyMH1PxvH7HPry06WwFMc-X8bDufYgV97iyep9ha6A.LEawenhjNeoa-kG8CrPE85oHMZHNn7b1AL2v_pNjLz0&dib_tag=se&keywords=24+inch+rain+shower+head+black+alfie&qid=1738544671&s=hi&srefix=24+inch+rain+shower+head+black+alfie%2Ctools%2C98&sr=1-4				
Shower lever	Delta	Modern Square Non-Shared	342701-BL	Black	https://www.amazon.com/Delta-Faucet-T140339-BL-PP-Modern-Matte/dp/B09LZ6XHH3/ref=sr_1_1?crid=C5QWU88E5LNC&dib=eyJ2IjojMSJ9.t6cKbpSRpOdqin9gpf-TOlvrGHOF0Eu7lcvg02dSDvH_eFH4aXmDDI1ntfgfSS_1fSvAq1iYKNSevY2dz9Evp28-8nh7Tn1W_sTXHSqtv9wOBDSbaVA7UKAk9mpqvB_7ZWfxzVnBAVagQw6lrS-c845uPSvhUi3iUOS8y-2wcN7ZFgVgZjvUPC5n6tEecloa5Jl2_Dime_BI6zXCpW3TVvMGQfRPb03icbMTLXm5i_bwyLQw9Su3S29WABrZaiGA2Vg9IiljumPvPyniDPcbcz2p7wOTun_CY_tJT6y5-BDXBecj8R_rRKQ2F_8JeO0fWwWHlfwT3XzlxVgI3fC8YzYwEcEF9wFMl7jsk6nNGc.ct74kx2f0nnwuFZcOrQ1W9B-C4I2mqai-sOQ5ObDjYQ&dib_tag=se&keywords=delta%2Bshower%2Blever%2Bblack%2Bmatter&qid=1738544860&s=hi&srefix=delta%2Bshower%2Blever%2Bblack%2Bmatter%2Ctools%2C100&sr=1-1&th=1				\$587.30
Valve	Moen	Posi-Temp Rough-In Valve	2520		https://www.amazon.com/dp/B000YLO96G?starsLeft=1&ref=cm_sw_r_cso_cp_a_pin_dp_5GKDJM4RZY4R2AKEASNM				
Drop Ell	Moen	Round Drop Ell	A725WR	Matte Black	https://www.amazon.com/dp/B0963CGFC3?starsLeft=1&ref=cm_sw_r_cso_cp_a_pin_dp_01CZ3011YCQ0XMN7YN73				
Drain	RELN	6x6 Square Shower Drain	FD0602SQBK	Matte Black	https://www.homedepot.com/p/RELN-6-in-x-6-in-Matte-Black-Shower-Drain-with-Square-Pattern-Drain-Cover-FD0602SQBK/316051865				

Humidifier Sensor Switch	Leviton	Decora In-Wall Humidity Sensor and Fan Control Switch	DHS05-1LW	White	https://www.amazon.com/dp/B0BG6243G7?tag=denniscomstoc-20&asc_item_id=amzn1.ideas.2M7JHF8CY2Y0I&ref=aip_sf_list_spv_ofs_mixed_d_asin&geniuslink=true&th=1				
Angled Recessed Ceiling Lights	HALO	RA 5 in. and 6 in. White Integrated LED Recessed Ceiling Light Fixture	RA5606930W HR	White	https://www.homedepot.com/p/HALO-RA-5-in-and-6-in-White-Integrated-LED-Recessed-Ceiling-Light-Fixture-Adjustable-Gimbal-Trim-90-CRI-3000K-Soft-White-RA5606930WHR/204732278?MERCH=REC_-pipsem_-100080469_-0_-n/a_-n/a_-n/a_-n/a_-n/a#overlay				
Drain Stopper	KES	Black Sink Drain Without Overflow, Bathroom Sink Stopper	S2008D-BK-P2	Matte Black	https://www.amazon.com/KES-without-Overflow-Bathroom-S2008D-BK-P2/dp/B09FG3YX7Z/ref=sr_1_2_sspa?tag=denniscomstoc-20&crd=30Y33GFG89DK8&keywords=sink+drain+push+button&qid=1693087741&srefix=sink+drain+push+button%2Caps%2C111&sr=8-2_spons&sp_csd=d2lkZ2V0TmFtZT1zcF9hdGY&th=1&geniuslink=true				

Kids/Guest Bathroom

Tub Tile		Juniper Polished Porcelain Tile		Green	https://www.flooranddecor.com/porcelain-ceramic-decoratives/juniper-polished-porcelain-tile-100966498.html				
Floor Tile		Black and White Basketweave II Porcelain Mosaic		White	https://www.flooranddecor.com/porcelain-tile/black-and-white-basketweave-ii-porcelain-mosaic-101053312.html?srsitid=AfmBOoq8vlt039nT0XdGnYKUmzYEg2lyqMTruRnRSlmvkEy2kCQde4T4Q7A&gStoreCode=324&gQT=1				
Vanity		Leyah 37 in. Walnut Finish Vanity with Engineered Stone Top		Walnut Finish	https://www.flooranddecor.com/bathroom-vanities/levah-37-in.-walnut-finish-vanity-with-engineered-stone-top-101128650.html				
Mirror		Frameless Lighted Bathroom Mirror			https://www.amazon.com/dp/B0B7GMK88G?ref=cm_sw_r_cp_mwn_dp_6F9S7SA_N05MSHE4G2705_1&ref=cm_sw_r_cp_mwn_dp_6F9S7SAN05MSHE4G2705_1&social_share=cm_sw_r_cp_mwn_dp_6F9S7SAN05MSHE4G2705_1&language=en-US				
Tub	American Standard	Studio 60 x 32-Inch Integral Apron Bathtub	2946.102	White	https://www.houzz.com/products/american-standard-2946-102-studio-60-x-32-alcove-soaking-white-prvw-vr~146074447				

Powder Room

Faucet - Powder Room	Delta	Champagne Bronze Two-Handle Faucet	35894LF-CZ-R	Gold	https://www.deltafaucet.com/bathroom/product/35894LF-CZ-R.html	LAV-02 Powder Room			
Mirror	Moon Mirror	Modern Oval Pivot Mirror		Brushed Gold	https://moonmirror.co/products/modern-oval-pivot-mirror-tilting-swivel-bathroom-oval-mirror?variant=43793913905406&gad_source=1&gclid=CjwKCAiAzPy8BhBoEiwAbnM9Ox0H55MtsPRvKIU52VaoAtgiGieozQQZBq1L33iCYfd09r7cID22DxoCLsgQAvD_BwE				
Vanity	Everly Quinn	Pollark Bathroom Storage		White/Gold	https://www.wayfair.com/home-improvement/pdp/everly-quinn-pollark-bathroom-storage-w110595507.html?pid=743552631				
Laundry Room									
Washing Machine					Repurpose Existing				
Dryer					Repurpose Existing				

Drying Rack	Bartnelli	Accordion Wall Mounted Drying Rack		White	https://www.amazon.com/dp/B07P88L4FB?tag=dennismcomstoc-20&asc_item_id=amzn1.ideas.2DA67QHEOSYDY&linkid=bc146ffea860b5e02f7b9abf2684c91e&ref=as_li_ss_tl&geniuslink=true				
Lighting/Ceiling Elements									
Angled Recessed Ceiling Lights	HALO	RA 5 in. and 6 in. Integrated LED Recessed Light	RA5606930W HR	White	https://www.homedepot.com/p/HALO-RA-5-in-and-6-in-White-Integrated-LED-Recessed-Ceiling-Light-Fixture-Adjustable-Gimbal-Trim-90-CRI-3000K-Soft-White-RA5606930WHR/204732278?MERCH=REC_-pipsem_-100080469_-0_-n/a_-n/a_-n/a_-n/a_-n/a#overlay	4.05			
Recessed Ceiling lights	Commercial Electric	4 in. Integrated LED Recessed Retrofit Light	NS01dA09ER2-259	White	https://www.homedepot.com/p/Commercial-Electric-4-in-Integrated-LED-Recessed-Retrofit-Light-Trim-with-Selectable-Color-Temperature-4-Pack-NS01dA09ER2-259/314018770	4.02			
Kitchen Pendant	Joss & Main	Kinston 1-Light Cone Pendant		Brushed Nickel	https://www.jossandmain.com/lighting/pdp/kinston-1-light-cone-pendant-j001271603.html#jlkqfcw09x-0	Kitchen 4.08			
Dining Room Pendant	Hudson Valley	Julien Semi-Flushmount		Aged Brass	https://www.lumens.com/julien-semi-flushmount-by-hudson-valley-lighting-HVLP151406.html	Dining 4.08			
Ceiling Fan	Ebern Designs	Seng 52" Ceiling Fan with Lights and Remote		Matte Black	https://www.wayfair.com/lighting/pdp/ebern-designs-seng-52-ceiling-fan-with-lights-and-remote-6-speed-3-plywood-blades-510-downrods3-led-colors-w111904877.html?piid=1503944099	3 - Second Floor Bedroom			
Under Cabinet Lighting	WOBANE	Under Cabinet LED Lighting Kit		Warm White	https://www.amazon.com/Cabinet-Function-Dimmable-Workbench-Counter/dp/B08VDH1GJV/ref=sr_1_17?crid=125HHZF7HNPB5&dib=eyJ2lioiMSJ9.gGMSNqdoN-HJblKwbzR0fUDrFEPbM8-Wt1Y5KToNVgV7ksBavLZXOdOZ28RQtm1xOR7Oa2eEV7XhaLn1x_TWPckXcm_XGn4xn_mz05bb08dWwOczNfZYgOmlo6GzXHopKkkR0wajRCC-CUTUDQc2uB05EN1CJ65AzukFoxoZgFlc3kYqrEZ4-o09YkWIwtmK12VwDcsdoQNVKSlY6f7olHnzylpnlmkWCx6VSGeFIB1qBh998d69O8czGPmlm2dDi737BNJNOzJLokMcRMcESnJQ6Qp42xmhisd2N_vVOvaGMh-l-R18ahDURjmwSP-9CenenBQqNU7bvPH93VVxwSxpCP-WdvGlxhXRcg.Ma-WMu2bUG75NeBkwwguoH1Ycvit3dp00lKsq0e0Fk&dib_tag=se&keywords=under%2Bcabinet%2Blighting&qid=1738543646&s=hi&srefix=under%2B%2Ctools%2C125&sr=1-17&th=1	4.10 kitchen			
Sconce (lighting)	TRLIFE	Modern Wall Sconce		Black	https://www.amazon.com/dp/B0DFQLT8DJ?ref=cm_sw_r_cso_cp_apan_dp_JTV7MHP0JT42EGN7JNAX&ref=cm_sw_r_cso_cp_apan_dp_JTV7MHP0JT42EGN7JNAX&social_share=cm_sw_r_cso_cp_apan_dp_JTV7MHP0JT42EGN7JNAX&starsLeft=1&skipTwisterOG=1&th=1	4.07 Powder Room_Kids/Guest Bathroom/Study room Entrance/Hallway			
Exhaust Fan	Utilitech	100 CFM Ceiling Mount Exhaust Fan with Light	7115-03	White	https://www.lowes.com/pd/Utilitech-Ventilation-Fan-1-5-Sone-100-CFM-White-Bathroom-Fan-ENERGY-STAR/1001062224	Bathrooms 4.16			
lighting (around garage)	TRUE FINE	Reflect 18.7 in. Black Modern LED Outdoor Wall Light		Black	https://www.homedepot.com/p/TRUE-FINE-Reflect-18-7-in-Black-Modern-Contemporary-LED-Outdoor-Wall-Light-Lantern-Sconce-TD120005W-LED/319633222#overlay	Garage 4.12			
lighting breeze way and large back wall on left	Wade Logan	Arlease Black 4-Bulb Outdoor Flush Mount		Black	https://www.wayfair.com/lighting/pdp/wade-logan-arlease-black-4-bulb-4-h-integrated-led-outdoor-flush-mount-w009703437.html	Breeze way and backwall behind fireplace 4.12			

lighting (back yard) future patio area		Modern 1-Light Black Integrated LED Wall Sconce	06FTL0277AB K	Black	https://www.homedepot.com/p/Modern-1-Light-Black-Dimmable-Integrated-LED-Wall-Sconce-06FTL0277ABK/328938460	Patio Door 4.12			
Picture Light		LED Wireless Picture Light		Black	https://www.amazon.com/dp/B0DGG4RRTB?ref=cm_sw_r_cso_wa_apan_dp_K71897MYZFRGRT85D3X4&ref=cm_sw_r_cso_wa_apan_dp_K71897MYZFRGRT85D3X4&social_share=cm_sw_r_cso_wa_apan_dp_K71897MYZFRGRT85D3X4&starsLeft=1&skipTwisterOG=1&titleSource=avft-a&th=1	Dining Room 4.07			
Recessed outdoor light	HALO	HLBSL 4 in. Adjustable CCT Canless LED Light Kit	HLBSL4069FS 351EMWR	White	https://www.homedepot.com/p/HALO-HLBSL-4-in-Adjustable-CCT-Canless-IC-Rated-Dimmable-Indoor-Outdoor-Integrated-LED-Recessed-Light-Kit-HLBSL4069FS351EMWR/311574836	4.02			

CABINETS**Brand:** Diamond Intermediate**Door Style:** Jamestown PNT FO DP {171079}**Door Hardware:****Finish Options:** Steam**Drawer Front Options:** Standard**Drawer Hardware:****Construction Options:** All Plywood Construction

Line	Model	Description	Quantity	Unit Price	Line Total
5	WHSMC48	Wood Hood Simple Chimney 48W	1	860.07	860.07
6	STEAM-PNT	Steam	1	154.81	154.81
7	APC	All Plywood Construction	1	0.00	0.00
8	JMSTN-PNT-DP	Jamestown PNT FO DP {171079}	0	42.96	0.00
9	STANDARDDF	Standard	0	0.00	0.00
10	NO-MFO	No Modified Full Overlay	1	0.00	0.00
CABINET SUB-TOTAL					1,014.88
CABINET TOTAL					1,014.88

CABINETS

Brand: Diamond One

Door Style: Jamestown PNT FO {1126867}

Door Hardware: { Generic Graphic/No Charge }

Finish Options: Steam

Drawer Front Options:

Drawer Hardware: { Generic Graphic/No Charge }

Construction Options: All Plywood Construction

Line	Model	Description	Quantity	Unit Price	Line Total
11	2DB27	2 Drw Base 27	1	1,066.88	1,066.88
11.1	ZFB	Finished End Both	1	0.05	0.05
12	B15L	Base 15 Drw Lh	1	495.89	495.89
12.1	ZFB	Finished End Both	1	0.05	0.05
13	B15R	Base 15 Drw Rh	1	495.89	495.89
13.1	ZFB	Finished End Both	1	0.05	0.05
14	2DB27	2 Drw Base 27	1	1,066.88	1,066.88
15	W362424	Wall 36W 24H 24D	1	601.76	601.76
15.1	ZFB	Finished End Both	1	0.05	0.05
16	TEP2496WD	Tall End Pnl Wd 24W 96H	1	364.67	364.67
17	TB8WD14	Toe Board .25 Wood	1	28.05	28.05
18	STEAM-PNT	Steam	1	0.00	0.00
19	APC	All Plywood Construction	1	818.39	818.39
20	JMSTN-PNT-FO	Jamestown PNT FO {1126867}	4	0.00	0.00
21	GG-NC-DR	{ Generic Graphic/No Charge }	4	0.00	0.00
22	GG-NC-DW	{ Generic Graphic/No Charge }	6	0.00	0.00
CABINET SUB-TOTAL					4,938.61
CONSUMER DIRECT FREIGHT					0.01
CABINET TOTAL					4,938.62

CABINETS

Brand: Diamond One

Door Style: Jamestown MPL FO {1126867}

Door Hardware: { Generic Graphic/No Charge }

Finish Options: Coastline

Drawer Front Options:

Drawer Hardware: { Generic Graphic/No Charge }

Construction Options: All Plywood Construction

Line	Model	Description	Quantity	Unit Price	Line Total
23	3DB18	3 Drw Base 18	1	787.22	787.22
23.1	ZFB	Finished End Both	1	0.04	0.04
23.2	ZFB	Finished End Both	1	0.04	0.04
24	BWB18	Base 18 Wastebasket	1	845.76	845.76
25	CNTYSB36	Country Sink Base 36W	1	603.99	603.99
25.1	ZFB	Finished End Both	1	0.04	0.04
26	BEPF1.5WD	Base End Pnl Wood 1.5 Flr {R}	1	160.33	160.33
27	TB8WD14	Toe Board .25 Wood	1	26.30	26.30
28	APC	All Plywood Construction	1	447.39	447.39
29	COAST-MPL	Coastline	1	0.00	0.00
30	JMSTN-MPL-FO	Jamestown MPL FO {1126867}	3	0.00	0.00
31	GG-NC-DR	{ Generic Graphic/No Charge }	2	0.00	0.00
32	GG-NC-DW	{ Generic Graphic/No Charge }	5	0.00	0.00
CABINET SUB-TOTAL					2,871.11
CONSUMER DIRECT FREIGHT					0.01
CABINET TOTAL					2,871.12

CABINETS

Brand: Diamond Standard

Door Style: Jamestown PNT FO {376737}

Door Hardware: { Generic Graphic/No Charge }

Finish Options: Steam

Drawer Front Options: 5-Piece Fronts

Drawer Hardware: { Generic Graphic/No Charge }

Construction Options: Plywood Ends

Line	Model	Description	Quantity	Unit Price	Line Total
33	STW1860L	Stacked Wall 18W 60H Lh	1	853.70	853.70
33.1	FPEB	Flush Furniture Plywood Ends	1	162.94	162.94
33.2	MIP	Matching Interior Plywood {+%}	1	213.43	213.43
33.3	CG+REEDE18.TOP	Textured Glass: Reeded + Cg Door(s)	1	208.01	208.01
33.4	ZFB	Finished End Both	1	0.04	0.04
34	STW1860R	Stacked Wall 18W 60H Rh	1	853.70	853.70
34.1	FPEB	Flush Furniture Plywood Ends	1	162.94	162.94
34.2	MIP	Matching Interior Plywood {+%}	1	213.43	213.43
34.3	CG+REEDE18.TOP	Textured Glass: Reeded + Cg Door(s)	1	208.01	208.01
34.4	ZFB	Finished End Both	1	0.04	0.04
35	STEAM-PNT	Steam	1	442.82	442.82
36	PE	Plywood Ends	1	0.00	0.00
37	JMSTN-PNT-FO	Jamestown PNT FO {376737}	2	0.00	0.00
38	DFF5PC	5-Piece Fronts	0	73.67	0.00
39	NO-MFO	No Modified Full Overlay	12	0.00	0.00
40	GG-NC-DR	{ Generic Graphic/No Charge }	4	0.00	0.00
41	GG-NC-DW	{ Generic Graphic/No Charge }	0	0.00	0.00
CABINET SUB-TOTAL					3,319.06
CABINET TOTAL					3,319.06

CABINETS

Brand: Diamond Standard

Door Style: Jamestown MPL FO {376737}

Door Hardware: Pull1907 Skylight Pull Gold

Finish Options: Coastline

Drawer Front Options: 5-Piece Fronts

Drawer Hardware: Pull1907 Skylight Pull Gold

Construction Options: All Plywood Construction

Line	Model	Description	Quantity	Unit Price	Line Total
42	B21R	Base 21 Drw Rh	1	458.48	458.48
42.1	FTK	Flush Toekick	1	85.80	85.80
42.2	RD12	Reduce Depth 12"	1	245.28	245.28
42.3	AUTHR	Authentic End R	1	416.88	416.88
42.4	CND	Cabinet With No Door With Drawer {-%}	1	(45.85)	(45.85)
42.5	MIP	Matching Interior Plywood {+%}	1	114.62	114.62
43	BP9634.5CRSGR	Back Panel 96W 34.5H Crsgr	1	419.48	419.48
44	BP9634.5CRSGR	Back Panel 96W 34.5H Crsgr	1	419.48	419.48
45	B21L	Base 21 Drw Lh	1	458.48	458.48
45.1	FTK	Flush Toekick	1	85.80	85.80
45.2	RD12	Reduce Depth 12"	1	245.28	245.28
45.3	AUTHL	Authentic End L	1	416.88	416.88
45.4	CND	Cabinet With No Door With Drawer {-%}	1	(45.85)	(45.85)
45.5	MIP	Matching Interior Plywood {+%}	1	114.62	114.62
46	BBMSH8	Base Board Moulding Shaker 8	4	197.61	790.44
47	COAST-MPL	Coastline	1	0.00	0.00
48	APC	All Plywood Construction	1	0.00	0.00
49	JMSTN-MPL-FO	Jamestown MPL FO {376737}	2	0.00	0.00
50	DFF5PC	5-Piece Fronts	2	73.67	147.34
51	NO-MFO	No Modified Full Overlay	20	0.00	0.00
52	PULL1907-DR	Pull1907 Skylight Pull Gold	2	33.80	67.60
53	PULL1907-DW	Pull1907 Skylight Pull Gold	2	33.80	67.60
CABINET SUB-TOTAL					4,462.36
CONSUMER DIRECT FREIGHT					0.01
CABINET TOTAL					4,462.37

QUOTE SUMMARY

Price Level 1

CSQRZITE_3 Net total:	\$12,436.63
DMD_ITM_6 Net total:	\$1,014.88
DMD_ONE_9 Net total:	\$4,938.61
DMD_ONE2_9 Net total:	\$2,871.11
DMD_STN_4 Net total:	\$3,319.06
DMD_STN2_4 Net total:	\$4,462.36

CABINET
LIST \$16,606.05

Direct Delivery Total	0.03
Direct Delivery Net Total	0.00
	\$0.03

Quote total:			\$29,042.68
Total linear feet of top molding			0.00
Total linear feet of bottom molding			0.00
Total linear feet of other molding			0.00
Total linear feet of cabinets			25.63

PRO. 4070 \$9,963.63
USP
+ TAX OR LABOR
\$10,984.90 \$3500-\$4000



Ask us about installation. A Lowe's professional installer can help you with your project.

Additional services are available. Ask an associate for details.

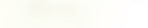
Special order configured products returned or canceled after 72 hours from purchase are subject to a 20% restocking fee.



Saturday,
February 1,
2025

Please review and confirm your selections.

NOTE: Images shown here are a representation of your selections, not an exact rendition.

Material Selection  PAINT : Paint	Door Styles  JMSTN-PNT-FO : Jamestown PNT FO {1126867}	Finish Options  STEAM-PNT : Steam
Construction Options  APC : All Plywood Construction	Door Pulls Graphic Only Knobs/Pulls No Charge GG-NC-DR : { Generic Graphic/No Charge }	Drawer Pulls Graphic Only Knobs/Pulls No Charge GG-NC-DW : { Generic Graphic/No Charge }

Diamond Prelude

Customer Signature



Saturday,
February 1,
2025

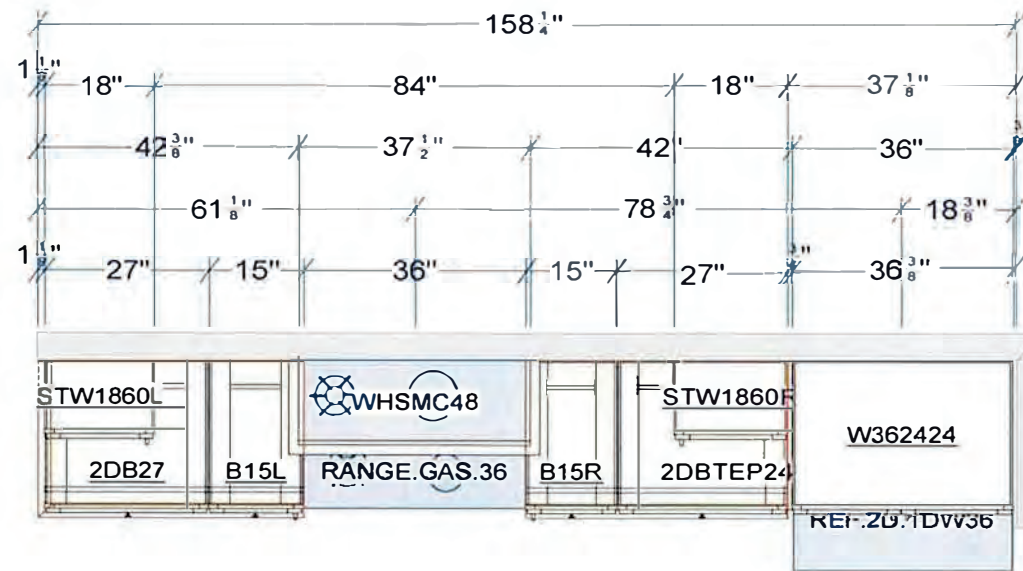
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NOTE: Images shown here are a representation of your selections, not an exact rendition.

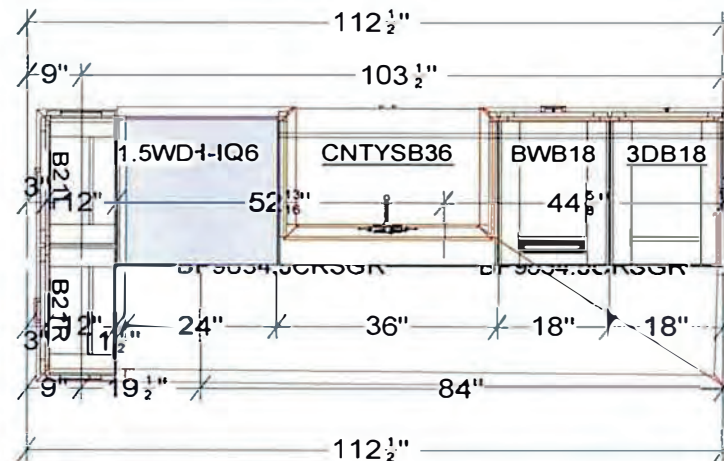
Material Selection  STAIN : Stains	Door Styles  JMSTN-MPL-FO : Jamestown MPL FO {1126867}	Finish Options  COAST-MPL : Coastline
Construction Options  APC : All Plywood Construction	Door Pulls Graphic Only Knobs/Pulls No Charge GG-NC-DR : { Generic Graphic/No Charge }	Drawer Pulls Graphic Only Knobs/Pulls No Charge GG-NC-DW : { Generic Graphic/No Charge }

Diamond Prelude

Customer Signature



STW1860 CABINETS AND END PANEL CABINETS ARE DIAMOND STANDARD
 DIAMONE ONE FOR EVERYTHING ELSE
 COASTLINE FOR ISLAND. BOTH DIAMOND STANDARD AND DIAMOND ONE



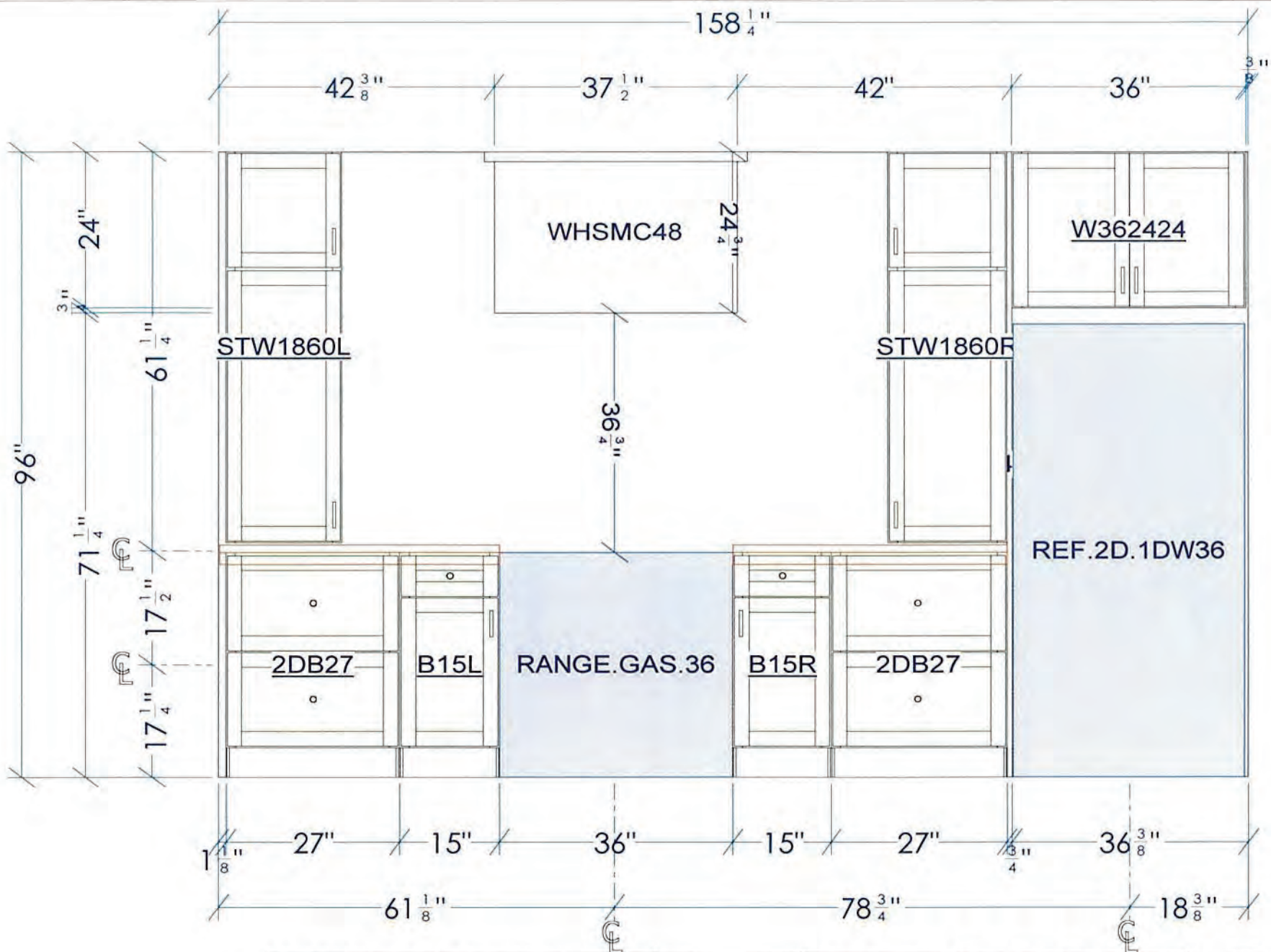
- OUTSIDE CORNER MOLDING ISLAND
 - SCRIBE

All dimensions, size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/1/2025
 Printed: 2/2/2025

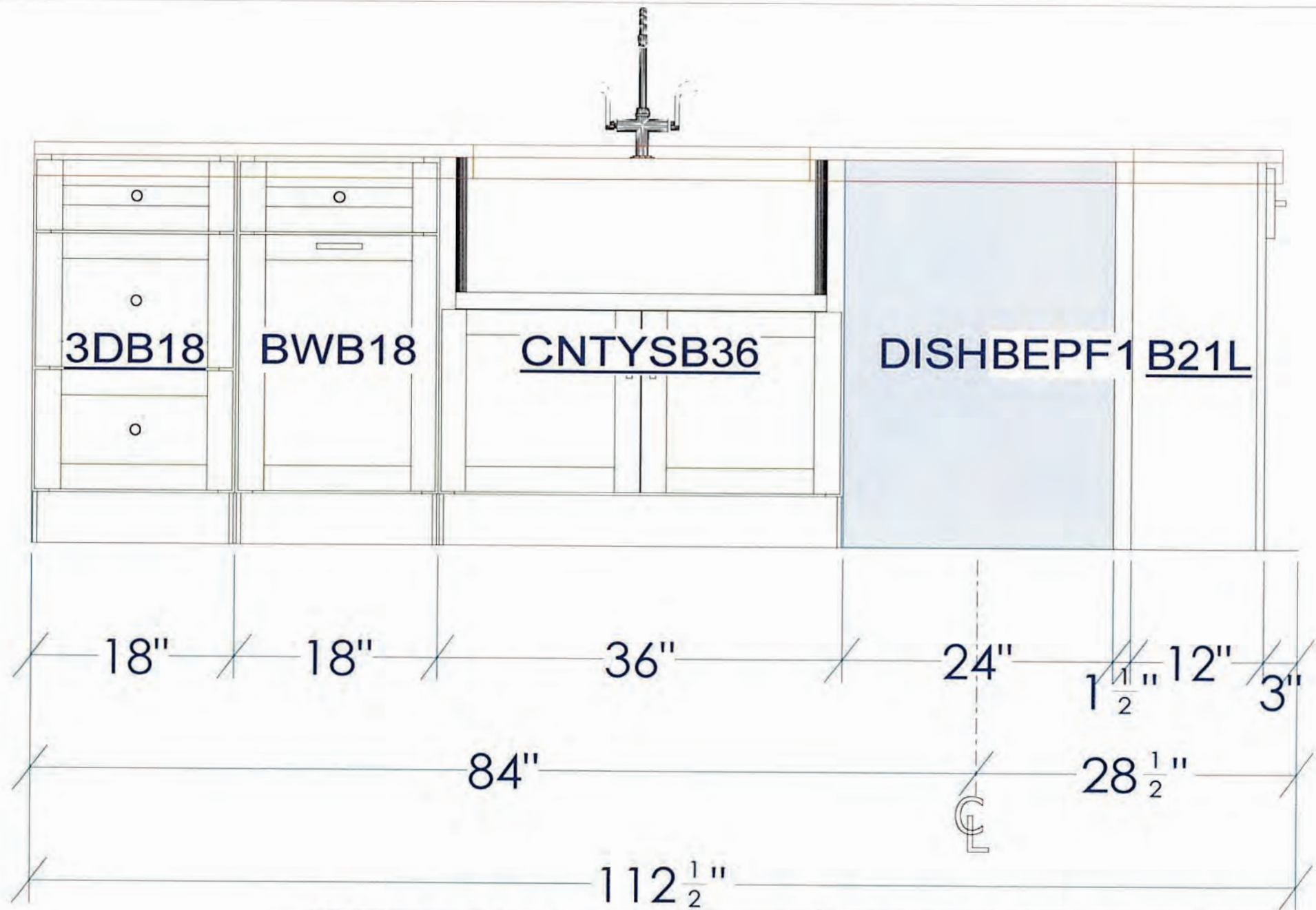


All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/1/2025
Printed: 2/2/2025



All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/1/2025
Printed: 2/2/2025



All dimensions & size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 2/1/2025
Printed: 2/2/2025



- 1 ALL FACE PANELS SHAKER OR SLAB STYLE WITH FACE MOUNTED PULL
- 2 TYPICAL PLYWOOD CONSTRUCTION TO BE VENEERED WITH PLAIN SAWN RED OAK AND STAINED TO MATCH FINESTING TRIM COLOR IN HOME
- 3 PAINT ENTIRE CABINET INSIDE TO MATCH FACE PANELS
- 4 ALL HARDWARE TO BE SOFT CLOSE
- 5 FABRICATOR TO VERIFY WITH ARCHITECT THAT ALL APPLIANCE AND HARDWARE SPECIFICATIONS HAVE BEEN FULFILLED WITH CLIENT AT LEAST 2 WEEKS PRIOR TO FABRICATION
- 6 PROVIDE MATCHING TOE KICK PANEL AND FILLER TRIM PANELS WHERE APPLICABLE
- 7 ALL DRAWERS TO BE MAPLE DOVE-TAIL CONSTRUCTION
- 8 PROVIDE 1 1/2" ADJUSTABLE SELF-LING HOLES AND NICKEL PLATED PEGS WITH ONE (1) MATCHING FINISH (LOOSE SELF-PING)



Custom Build

[Back to Your Build](#)

PRODUCT

TOTAL



FUEL AND IGNITION
TYPE

\$1,949.00

**Natural
Gas/Millivolt**

\$1,949.00



INTERIOR PANELS

\$259.00

Herringbone

\$259.00



MEDIA KITS

\$90.00

Ember Kit

\$90.00



BLOWER

\$329.00

Auto Blower

\$329.00



REMOTE CONTROLS

\$254.00

**Wireless Wall
Thermostat**

\$254.00

Estimated total \$2,881.00

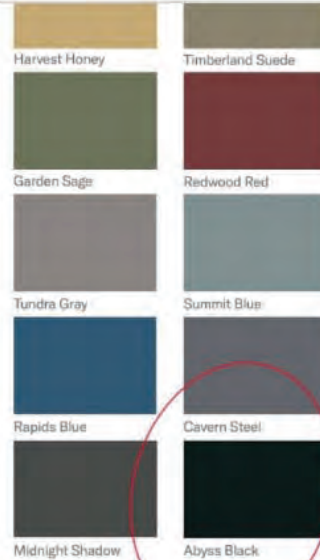


BEAUTIFUL FINISH.

LP® SMARTSIDE® EXPERTFINISH® TRIM & SIDING

The advanced durability you expect from LP® SmartSide® Trim & Siding comes in ExpertFinish® colors. Your homeowners will love choosing colors to match their style—and you'll love the fast and easy installation that comes with LP SmartSide ExpertFinish Trim and Siding.

- ExpertFinish Lap Joint Siding to avoid the need for most seam caulking, joint molds, or pan flashing
- Now available in brushed smooth and cedar texture
- Advanced Durability for Longer Lasting Beauty®
- Available in 16 versatile colors that will complement most any home's style
- Industry-leading 5/15/50 year prorated limited warranty: 5-year labor and materials, 15-year finish, and 50-year substrate
- Comes in a variety of SKUs and finishes



LP SmartSide®
ExpertFinish® TRIM & SIDING

For complete product & warranty details, visit LPCorp.com/ExpertFinish

Products Available in LP SmartSide ExpertFinish Colors

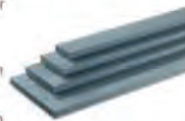
Lap Joint Siding

- 38 Series 6" x 16" – 5.84 in. (148 mm) x 192 in. (4.9 m)
- 38 Series 8" x 16" – 7.84 in. (199 mm) x 192 in. (4.9 m)



Trim

- 540 Series 5" x 16" – 194 in. (4.9 m) x 192 in. (4.9 m)
*Quebec only **
- 440/540 Series 4" x 16" – 3.50 in. (89 mm) x 192 in. (4.9 m)
- 440/540 Series 6" x 16" – 5.50 in. (140 mm) x 192 in. (4.9 m)
- 440/540 Series 8" x 16" – 7.21 in. (183 mm) x 192 in. (4.9 m)
- 440/540 Series 10" x 16" – 9.21 in. (234 mm) x 192 in. (4.9 m)
- 440/540 Series 12" x 16" – 11.21 in. (285 mm) x 192 in. (4.9 m)
- 190 Series 3" x 16" – 2.5 in. (64 mm) x 192 in. (4.9 m)



Shakes

- 38 Series 12" x 48" – 11.624 in. (295 mm) x 48.63 in. (1.2 m)
- Reversible staggered or straight edge



Panel

- 38 Series 4' x 8' – 48.56 in. (1234 mm) x 96 in. (2.4 m)
- 38 Series 4' x 10' – 48.56 in. (1234 mm) x 120 in. (3 m) *



Nickel Gap

- Nickel Gap 8" x 16" – 7 in. (177 mm) x 192 in. (4.9 m)



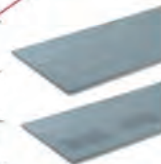
Vertical Siding

- 38 Series 16" x 16" – 15.94 in. (405 mm) x 192 in. (4.9 m)



Soffit

- 38 Series 12" Closed/Vented Soffit – 11.94 in. (303 mm) x 192 in. (4.9 m)
- 38 Series 16" Closed/Vented Soffit – 15.93 in. (405 mm) x 192 in. (4.9 m)
- 38 Series 24" Closed/Vented Soffit – 23.94 in. (608 mm) x 192 in. (4.9 m)
- Vented Soffit Only Available in Cedar



Outside Corners

- 540 Series 4" x 10' – 3.625 in. (89 mm) x 120 in. (3.0 m) *
- 540 Series 6" x 10' – 5.625 in. (140 mm) x 120 in. (3.0 m) *



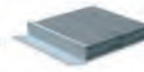
J-Blocks

- 540 Series 7.25" x 7.25" – 7.21 in. (183 mm) x 7.21 in. (183 mm)



Mini Splits

- 540 Series 7.25" x 6.75" – 7.21 in. (183 mm) x 6.75 in. (171 mm)



1-2025-04-30 Final WWU Cont Bid Package_Final_signatures_Nat (1)

Final Audit Report

2025-05-10

Created:	2025-05-07
By:	Suraj Sukrit Prakash (apollo2553@gmail.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAit5eE9jt0eNHs6RCRhSyho5BBNXdtPO5

"1-2025-04-30 Final WWU Cont Bid Package_Final_signatures_Nat (1)" History

-  Document created by Suraj Sukrit Prakash (apollo2553@gmail.com)
2025-05-07 - 7:50:53 PM GMT- IP address: 172.56.177.207
-  Document emailed to Meghna Sahay (meghnasahay0106@gmail.com) for signature
2025-05-07 - 7:51:18 PM GMT
-  Document emailed to Andrew Fishman (andrew@11northinc.com) for signature
2025-05-07 - 7:51:19 PM GMT
-  Document emailed to Suraj Sukrit Prakash (apollo2553@gmail.com) for signature
2025-05-07 - 7:51:19 PM GMT
-  Document e-signed by Suraj Sukrit Prakash (apollo2553@gmail.com)
Signature Date: 2025-05-07 - 7:52:30 PM GMT - Time Source: server- IP address: 172.56.177.207
-  Email viewed by Andrew Fishman (andrew@11northinc.com)
2025-05-07 - 7:54:14 PM GMT- IP address: 140.248.30.0
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2025-05-07 - 9:52:12 PM GMT- IP address: 74.125.215.74
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Signature Date: 2025-05-07 - 9:54:12 PM GMT - Time Source: server- IP address: 172.56.17.223
-  Email viewed by Andrew Fishman (andrew@11northinc.com)
2025-05-09 - 2:21:03 AM GMT- IP address: 140.248.30.0
-  Document e-signed by Andrew Fishman (andrew@11northinc.com)
Signature Date: 2025-05-10 - 10:57:50 PM GMT - Time Source: server- IP address: 73.72.212.42

✔ Agreement completed.

2025-05-10 - 10:57:50 PM GMT